George E. Pataki, Governor Bernadette Castro, Commissioner

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

IDENTIFICATION	<u> </u>			
Property name (if a	any)			
Address or Street I	Location 23 Townsend Stree			
County Erie	Town/Cit	y Buffalo	Village/Hamlet:	_
Owner		Address		
Original use Resid	lence: multiple-family	Current use Resid	lence: multiple-family	
Architect/Builder, if	known	Dat	e of construction, if known <u>ca</u>	. 1880
DESCRIPTION				
Materials – please	check those materials that are	e visible		
Exterior Walls:			vertical boards	plywood
	stone	☐ brick	poured concrete	☐ concrete block
	vinyl siding	aluminum siding	cement-asbestos	other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	brick	poured concrete	concrete block
Other materials an	d their location:			
Alterations, if know	n: Replacement windows			Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
	uctures, this includes exterior			d represent the property as a whole ape features. Color prints are
	photograph providing a compl arate envelope or stapled to a		operty to the front of this sheet	t. Additional views should be
	drawn locational map indicating property can be accurately p			rsections or other widely recognized distances where possible.
Study: City of Buf	falo Intensive Level Historic R	esources Survey: Broadway-	Fillmore Neighborhood	

(See following pages)

Email: cbca@buffnet.net

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Date: 03/2004

Prepared by: Clinton Brown Company Architecture, pc

Telephone: (716) 852 -2020 ext.

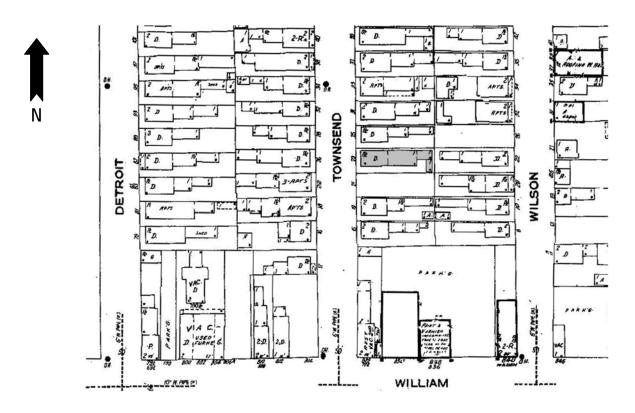
IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The multiple-family house at 23 Townsend Street is located on the east side of the street, just north of William Street. Townsend Street is a three-block long, residential street that extends from William Street to Broadway. The property is located in the southwest quadrant of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the south.
A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has an entry door in the north bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash and casement. The gable end has a paired window grouping and wood shingles in the peak. A gabled dormer rests on the south slope. Extending east from the east end of the main block are two one-story, gabled-roof additions. The larger addition has two entrances on the south elevation. A brick chimney rests on the center ridge of the main block.
Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage,

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

1880. This type quickly to accommodized build	e of modest house que modate the rapid influ lings, the vast majori	is significant as a goo uickly permeated the ux of immigrants, large ty of the housing stoc a house of this sort cos	Broadway-Fillmore r ly Polish, to the Broa k in the Broadway-F	neighborhood, as it ndway-Fillmore area Fillmore area would	t could be constructe a. Unlike the neighbor I have been erected t	d inexpensively and hood's religious and



PHOTOGRAPH: (Broadway-Fillmore R-12; N-25)



RESERVATION - HISTORY OF PRESERVATION OF PRESE

Telephone: (716) 852 -2020 ext.

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

IDENTIFICATION	<u>ON</u>			
Property name (if a	any)			
Address or Street	Location 25 Townsend Stree	t		
County Erie	Town/Ci	ty <u>Buffalo</u>	Village/Hamlet:	
Owner		Address		
Original use Resid	dence: single-family	Current use Resid	dence: multiple-family	
Architect/Builder, it	f known	Dat	e of construction, if known ca	1. 1880
<u>DESCRIPTION</u>				
Materials – please	check those materials that ar	e visible		
Exterior Walls:	wood clapboard	wood shingle	vertical boards	plywood
	stone	☐ brick	poured concrete	concrete block
	☐ vinyl siding	aluminum siding	cement-asbestos	other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	☐ brick	poured concrete	concrete block
Other materials an	d their location:			
Alterations, if know	vn: Replacement windows			Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
	ructures, this includes exterior		nation. Submitted views should tting, outbuildings and landsca	d represent the property as a whole ape features. Color prints are
	photograph providing a comp arate envelope or stapled to a		operty to the front of this sheet	. Additional views should be
			r in relationship to streets, inter w. Include a scale or estimate	rsections or other widely recognized distances where possible.
Study: City of Buf	ffalo Intensive Level Historic F	Resources Survey: Broadway-	Fillmore Neighborhood	
Prepared by: Clin	ton Brown Company Architect	ure, pc Address	s: 2100 Rand Building, 14 Lafa	yette Sq., Buffalo NY 14203

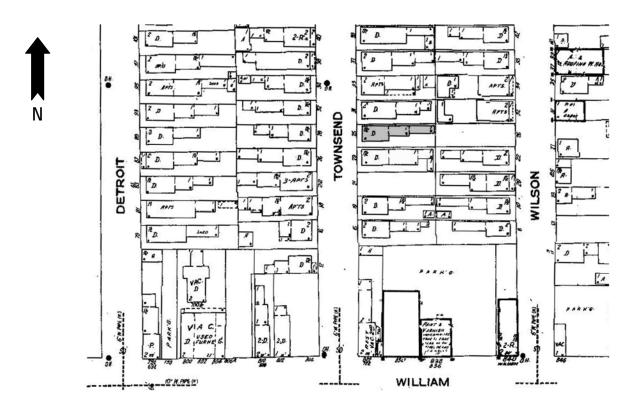
(See following pages)

Email: cbca@buffnet.net

Date: 03/2004

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

The multiple-family house at 25 Townsend Street is located on the east side of the street, just north of William Street. Townsend Street is a three-block long, residential street that extends from William Street to Broadway. The property is located in the southwest quadrant of the Broadway-Fillmore neighborhood.
A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has an entry door in the north bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash and casement. Extending east from the east end of the main block are two one-story, gabled-roof additions with entrances on the south elevations. A brick chimney rests on the center ridge of the main block.
Childring rests on the center huge of the main block.
Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.
The building at 25 Townsend Street is significant as a good representative example of an extended workers' cottage constructed in ca. 1880. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.



PHOTOGRAPH: (Broadway-Fillmore R-12; N-24)



George E. Pataki, Governor Bernadette Castro, Commissioner

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

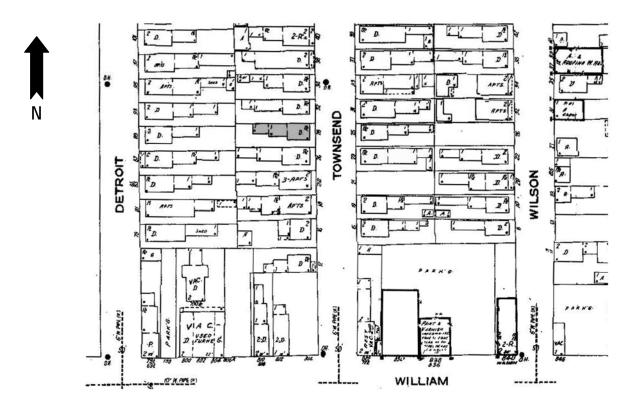
	OFFICE USE ONLY
USN:	

IDENTIFICAT	<u>'ION</u>			
Property name (i	f any)			
Address or Stree	t Location 28 Townsend St	treet		
County Erie	Towr	n/City Buffalo	Village/Hamlet:	
Owner		Address		
Original use Res	sidence: single-family	Current use _F	Residence: single-family	
Architect/Builder,	, if known		Date of construction, if known	ca. 1885
DESCRIPTION				
Materials – pleas	se check those materials that	t are visible		
Exterior Walls:		☐ wood shingle	vertical boards	plywood
	stone	brick	poured concrete	concrete block
	vinyl siding	aluminum siding	cement-asbestos	other other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	brick	poured concrete	concrete block
Other materials a	and their location:			
Alterations, if kno	own: Replacement windows	8		Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
	structures, this includes exte			ould represent the property as a whole scape features. Color prints are
	e photograph providing a co parate envelope or stapled		or property to the front of this sh	eet. Additional views should be
			perty in relationship to streets, in arrow. Include a scale or estima	ntersections or other widely recognized ate distances where possible.
Study: City of B	uffalo Intensive Level Histor	ic Resources Survey: Broad	way-Fillmore Neighborhood	
Prepared by: Cli	inton Brown Company Archi	tecture, pc Add	Iress: 2100 Rand Building, 14 L	Lafayette Sq., Buffalo NY 14203
Telephone: (71	6) 852 –2020 ext.		Email: cbca@buffnet.net	Date : 03/2004

(See following pages)

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

	The single-family house at 28 Townsend Street is located on the west side of the street, just north of William Street. Townsend Street is a three-block long, residential street that extends from William Street to Broadway. The property is located in the southwest quadrant of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the north.
	A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has an entry door in the north bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash and casement.
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	Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.
	The building at 28 Townsend Street is significant as a good representative example of an extended workers' cottage constructed in ca. 1880. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.
J	



PHOTOGRAPH: (Broadway-Fillmore R-15; N-36)



RESERVANDA ONEW YORK STATE George E. Pataki, Governor Bernadette Castro, Commissioner

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

IDENTIFICATION	<u>ON</u>				
Property name (if a	any)				
Address or Street	Location 37 Townsend Stree	et			
County Erie	Town/Cit	ty <u>Buffalo</u>	Village/Hamlet:		
Owner		Address			
Original use Resid	Original use Residence: single-family Current use Residence: multiple-family				
Architect/Builder, i	f known	Dat	e of construction, if known <u>ca</u>	а. 1880	
DESCRIPTION					
Materials – please	check those materials that are	e visible			
Exterior Walls:	wood clapboard	wood shingle	vertical boards	plywood	
	stone	☐ brick	poured concrete	☐ concrete block	
	vinyl siding	aluminum siding	cement-asbestos	other	
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate	
Foundation:	stone	brick	poured concrete	concrete block	
Other materials an	d their location:				
Alterations, if know	un:			Date:	
Condition:	excellent	⊠ good	☐ fair	deteriorated	
	ructures, this includes exterior			d represent the property as a whole ape features. Color prints are	
	photograph providing a compl arate envelope or stapled to a		operty to the front of this shee	t. Additional views should be	
	drawn locational map indicati e property can be accurately p			rsections or other widely recognized distances where possible.	
Study: City of But	ffalo Intensive Level Historic R	esources Survey: Broadway-	Fillmore Neighborhood		

(See following pages)

Email: cbca@buffnet.net

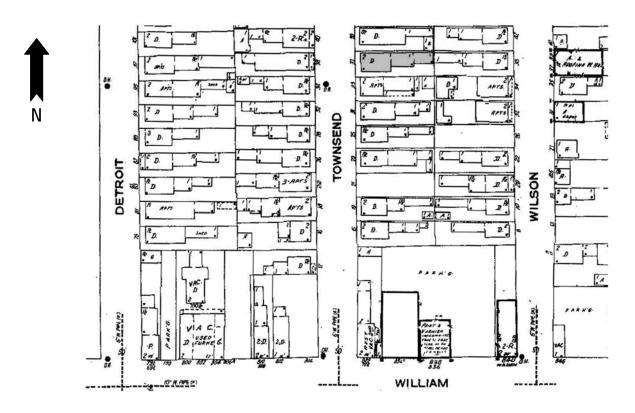
Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Date: 03/2004

Prepared by: Clinton Brown Company Architecture, pc

Telephone: (716) 852 -2020 ext.

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS



PHOTOGRAPH: (Broadway-Fillmore R-12; N-22)



RESERVANDO NEW YORK STATE & George E. Pataki, Governor Bernadette Castro, Commissioner

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY	
USN:		

<u>IDENTIFICAT</u>	ION			
Property name (i	f any)			
Address or Stree	t Location 57 Townsend St	treet		
County Erie	Town	/City <u>Buffalo</u>	Village/Hamlet:	
Owner		Address		
Original use Res	sidence: multiple-family	Current use Re	esidence: multiple-family	
Architect/Builder,	, if known		Date of construction, if known	1927
DESCRIPTION				
Materials – pleas	se check those materials that	are visible		
Exterior Walls:		☐ wood shingle	vertical boards	plywood
	stone	☐ brick	poured concrete	☐ concrete block
	vinyl siding	☐ aluminum siding	cement-asbestos	other other
Roof:	asphalt, shingle	asphalt, roll	☐ wood shingle	metal slate
Foundation:	stone	☐ brick	poured concrete	☐ concrete block
Other materials a	and their location:			
	own: Replacement windows			Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
	structures, this includes exter			ould represent the property as a whole scape features. Color prints are
	e photograph providing a cor parate envelope or stapled to		property to the front of this sh	neet. Additional views should be
			erty in relationship to streets, ir rrow. Include a scale or estima	ntersections or other widely recognized ate distances where possible.
Study: City of B	uffalo Intensive Level Histori	c Resources Survey: Broadw	ay-Fillmore Neighborhood	
Prepared by: Cli	inton Brown Company Archit	ecture, pc Addr	ess: 2100 Rand Building, 14 L	Lafayette Sq., Buffalo NY 14203
Telephone: (71	6) 852 –2020 ext.	E	mail: cbca@buffnet.net	Date : 03/2004

(See following pages)

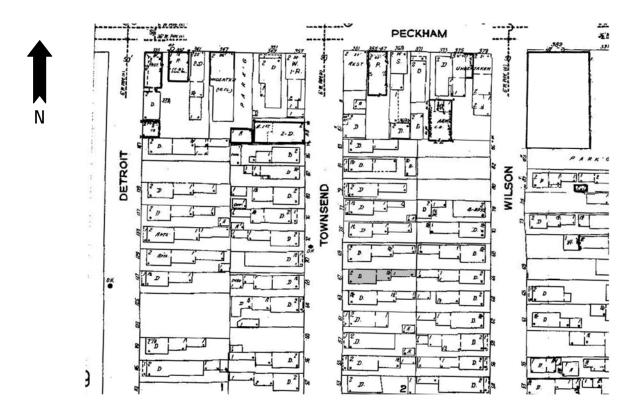
IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

A two-story, front-gabled, frame, vernacular residence. It has a rectangular plan and is set on a rusticated concrete block foundation. Exterior wall fabric is clapboard. The façade has a full-width Craftsman porch with rusticated concrete block foundation and pedestals, replacement metal rail and supports, and flat roof. The entrance with ¾ sidelights is set in the north bay and a triple window grouping with leaded glass headers is located in the south bay. Fenestration is one-over-one, double-hung wood sash. The upper facade has an open porch with metal balustrade and similar fenestration as the ground floor. A chimney is located on the center ridge. A side entrance with
bracketed canopy is located on the south elevation.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 57 Townsend Street is significant as a good representative example of a Craftsman, multiple-family residence constructed in 1927 in the Broadway-Fillmore neighborhood. It was built for M. Walenkiewicz. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.



PHOTOGRAPH: (Broadway-Fillmore R-12; N-21)



PRESERVATION - HISTORY STATE George E. Pataki, Governor Bernadette Castro, Commissioner

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

<u>IDENTIFICAT</u>	<u> TION</u>			
Property name (if any)			
Address or Stree	et Location 128 Townsend S	treet		
County Erie	Town	/City <u>Buffalo</u>	Village/Hamlet:	
Owner		Address		
Original use Re	sidence: single-family	Current use Va	acant	
Architect/Builder	r, if known		Date of construction, if known	ca. 1880
DESCRIPTION				
Materials - pleas	se check those materials that	are visible		
Exterior Walls:	wood clapboard	☐ wood shingle	vertical boards	plywood
	stone	☐ brick	poured concrete	☐ concrete block
	vinyl siding	aluminum siding	cement-asbestos	other
Roof:	□ asphalt, shingle	asphalt, roll	wood shingle	☐ metal ☐ slate
Foundation:	stone	☐ brick	poured concrete	concrete block
Other materials	and their location:			
Alterations, if known	own: Replacement windows			Date:
Condition:	excellent	good	⊠ fair	deteriorated
For buildings or				ould represent the property as a whole scape features. Color prints are
	ne photograph providing a cor eparate envelope or stapled to		property to the front of this sh	eet. Additional views should be
			erty in relationship to streets, ir rrow. Include a scale or estima	ntersections or other widely recognize ate distances where possible.

(See following pages)

Email: cbca@buffnet.net

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Date: 03/2004

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Telephone: (716) 852 -2020 ext.

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

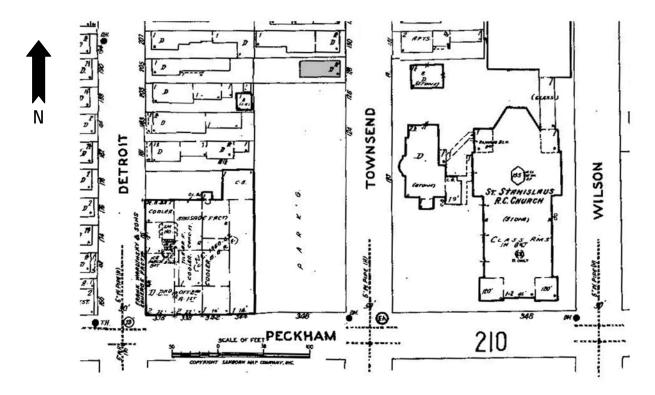
Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The building at 128 Townsend Street is located the west side of the street, just north of Peckham Street. St. Stanislaus Church complex stands on the opposite side of the street to the east. Townsend Street is a three-block long, residential street that extends from William Street to Broadway. The property is located in the southwest quadrant of the Broadway-Fillmore neighborhood. Vacant lots border the property to the north and south.
A one-and-one-half story, front-gabled, frame, cottage with no foundation. It has a rectangular plan. Exterior wall fabric is clapboard. Window and door openings are boarded or removed. The entry door with replacement stoop is set in the north bay and a triple window grouping is located in the south bay. Attached to the west end of the main block is a one-story, shed-roof addition. Two brick chimneys rest on the center ridge of the main block.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

of modest hous accommodate the commercial build	se quickly permeate ne rapid influx of im dings, the vast major	ed the Broadway-Fillm nmigrants, largely Poli	nore neighborhood, sh, to the Broadway ck in the Broadway-F	. as it could be co y-Fillmore area. Fillmore area would	ottage constructed in constructed in constructed inexpensive Unlike the neighborho have been erected to \$10 per month.	ly and quickly to od's religious and

MAP: Sanborn Map (Revised 1986) – Plate 203



PHOTOGRAPH: (Broadway-Fillmore R-9; N-36)



George E. Pataki, Governor Bernadette Castro, Commissioner

Telephone: (716) 852 -2020 ext.

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

IDENTIFICAT	<u>'ION</u>			
Property name (i	f any)			
Address or Stree	et Location 149 Townsend S	Street		
County Erie	Town	/City <u>Buffalo</u>	Village/Hamlet:	
Owner		Address		
Original use Res	sidence: single-family	Current use Re	esidence: single-family	
Architect/Builder,	, if known		Date of construction, if known	ca. 1880
DESCRIPTION				
Materials - pleas	se check those materials that	are visible		
Exterior Walls:	wood clapboard		vertical boards	plywood
	stone	☐ brick	poured concrete	concrete block
	vinyl siding	aluminum siding	cement-asbestos	☐ other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	☐ brick	poured concrete	oncrete block
Other materials a	and their location:			
Alterations, if kno	own: Replacement windows			Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
	structures, this includes exter			ould represent the property as a whole. scape features. Color prints are
	e photograph providing a cor eparate envelope or stapled to		r property to the front of this sh	eet. Additional views should be
			erty in relationship to streets, ir rrow. Include a scale or estima	ntersections or other widely recognized ate distances where possible.
Study: City of B	uffalo Intensive Level Histori	c Resources Survey: Broadw	ray-Fillmore Neighborhood	
Prepared by: Cli	inton Brown Company Archit	ecture, pc Addr	ess: 2100 Rand Building, 14 L	afayette Sq., Buffalo NY 14203

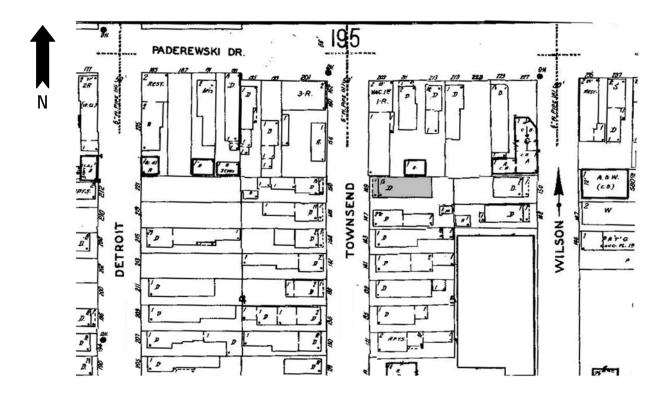
(See following pages)

Email: cbca@buffnet.net

Date: 03/2004

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

The single-family house at 149 Townsend Street is located on the east side of the street, just south of Paderewski Drive. Townsend Street a three-block long, residential street that extends from William Street to Broadway. The property is located in the southwest quadrant of the Broadway-Fillmore neighborhood. St. Stanislaus Church complex is located to immediately to the south.
A one-and-one-half story, front-gabled, frame, extended workers' cottage. It has a rectangular plan and is set on a rusticated concrete blo-foundation. Exterior wall fabric is clapboard. The façade has a full-width porch with replacement metal rail and supports, and a woo shingled, closed-gable roof. The entrance is set in the north bay and a triple window grouping is located in the south bay. Attached to the west end of the main block is a one-story, gabled-roof addition. A brick chimney rests on the center ridge of the main block.
Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.
The building at 149 Townsend Street is significant as a good representative example of an extended workers' cottage constructed in ca. 188 This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious are commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.



PHOTOGRAPH: (Broadway-Fillmore R-9; N-31)



George E. Pataki, Governor Bernadette Castro, Commissioner

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

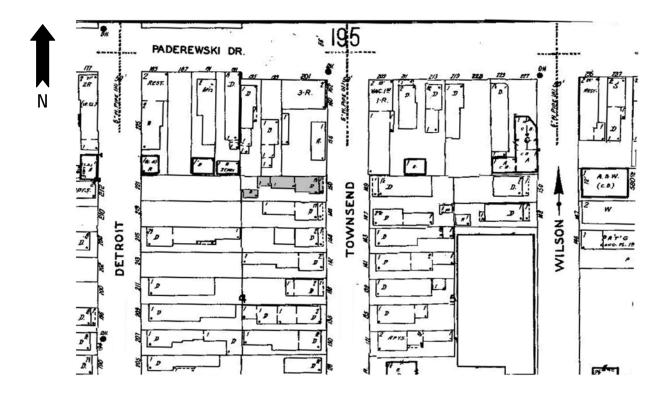
<u>IDENTIFICATION</u>	
Property name (if any)	

Address or Stree	t Location 150 Townsend S	Street			
County Erie	Town	/City <u>Buffalo</u>	Village/Hamlet:		
Owner		Address			
Original use Res	sidence: single-family	Current use Re	esidence: single-family		
Architect/Builder,	, if known		Date of construction, if known	ca. 1880	
DESCRIPTION					
Materials - pleas	se check those materials that	are visible			
Exterior Walls:			vertical boards	plywood	
	stone	☐ brick	poured concrete	concrete block	
	vinyl siding	aluminum siding	cement-asbestos	other other	
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate	
Foundation:	stone	☐ brick	poured concrete	concrete block	
Other materials a	and their location:				
Alterations, if kno	own: Replacement windows	, addition (1911)		Date:	
Condition:	excellent	⊠ good	☐ fair	deteriorated	
Photos Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.					
Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.					
			erty in relationship to streets, ir rrow. Include a scale or estima	ntersections or other widely recognized ate distances where possible.	
Study: City of B	uffalo Intensive Level Histori	c Resources Survey: Broadw	ay-Fillmore Neighborhood		
Prepared by: Cli	inton Brown Company Archit	ecture, pc Addr	ess: 2100 Rand Building, 14 L	afayette Sq., Buffalo NY 14203	
Telephone: (71	6) 852 –2020 ext.	E	mail: cbca@buffnet.net	Date: 03/2004	

(See following pages)

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

The single-family house at 150 Townsend Street is located on the west side of the street, just south of Paderewski Drive. Townsend Street is a three-block long, residential street that extends from William Street to Broadway. The property is located in the southwest quadrant of the Broadway-Fillmore neighborhood. St. Stanislaus Church complex is located to immediately to the south.
A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. Exterior wall fabric is clapboard. The façade has a full-width Craftsman porch with rusticated concrete block foundation and pedestals, battered piers, and gabled roof with wood shingles. An entry door is located in the north bay and a triple window grouping is set in the south bay. Attached to the west end of the main block is a one-story, gabled-roof addition. A brick chimney rests on the center ridge of the main block.
Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.
The building at 150 Townsend Street is significant as a good representative example of an extended workers' cottage constructed in ca. 1880 with a later Craftsman porch. It received an addition in 1911. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.



PHOTOGRAPH: (Broadway-Fillmore R-9; N-30)



George E. Pataki, Governor Bernadette Castro, Commissioner

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

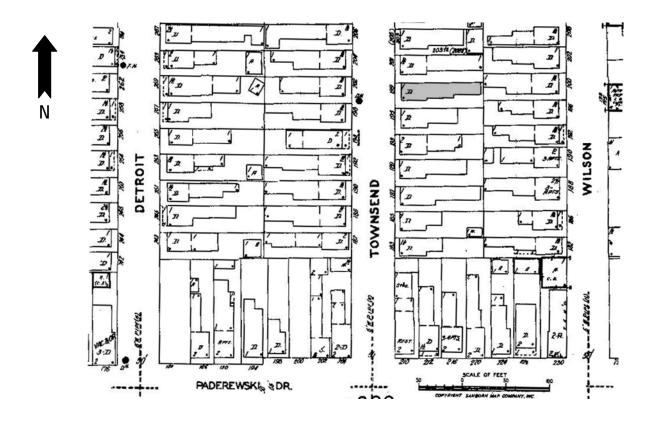
	OFFICE USE ONLY	
USN:		

IDENTIFICAT	ION					
Property name (if	any)					
Address or Stree	t Location 199 Townsend S	treet				
County Erie Town/City Buffalo		'City <u>Buffalo</u>	Village/Hamlet:			
Owner		Address				
Original use Res	idence: single-family	Current use V	acant			
Architect/Builder, if known			Date of construction, if known ca. 1880			
DESCRIPTION						
Materials – pleas	e check those materials that	are visible				
Exterior Walls:	wood clapboard	☐ wood shingle	vertical boards	plywood		
	stone	☐ brick	poured concrete	☐ concrete block		
	vinyl siding	aluminum siding	cement-asbestos	other other		
Roof:	□ asphalt, shingle	asphalt, roll	☐ wood shingle	metal slate		
Foundation:	stone	☐ brick	poured concrete	☐ concrete block		
Other materials a	and their location:					
Alterations, if known: Replacement windows Date:						
Condition:	excellent	⊠ good	fair	deteriorated		
	tructures, this includes exteri			ould represent the property as a whole scape features. Color prints are		
	e photograph providing a con parate envelope or stapled to		r property to the front of this sh	eet. Additional views should be		
			erty in relationship to streets, ir urrow. Include a scale or estima	ntersections or other widely recognized ate distances where possible.		
Study: City of B	uffalo Intensive Level Historic	Resources Survey: Broadw	vay-Fillmore Neighborhood			
Prepared by: Cli	nton Brown Company Archite	ecture, pc Addr	ress: 2100 Rand Building, 14 L	afayette Sq., Buffalo NY 14203		
Telephone : (716) 852 –2020 ext.			Email: cbca@buffnet.net	Date: 03/2004		

(See following pages)

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

The building at 199 Townsend Street is located on the east side of the street, just north of Paderewski Drive. Townsend Street is a three-block long, residential street that extends from William Street to Broadway. The property is located in the southwest quadrant of the Broadway-Fillmore neighborhood. St. Stanislaus Church complex is located to immediately to the south.
A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. Exterior wall fabric is clapboard. The façade has an entry door is located in the north bay and a triple window grouping is set in the south bay. Fenestration is six-, three-, and one-over-one, double-hung wood sash. Attached to the east end of the main block are two, one-story, gabled-roof additions. A brick chimney rests on the center ridge of the main block.
Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.
The building at 199 Townsend Street is significant as a good representative example of an extended workers' cottage constructed in ca. 1880. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.



PHOTOGRAPH: (Broadway-Fillmore R-9; N-29)



RESERVANDA ORK STATE Servadette Castro, Commissioner

Telephone: (716) 852 -2020 ext.

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

IDENTIFICATI	<u>ION</u>			
Property name (if	any)			
Address or Street	Location 227 Townsend Str	eet		
County Erie	Town/Ci	ty <u>Buffalo</u>	Village/Hamlet:	
Owner		Address		
Original use Resi	dence: multiple-family		dence: multiple-family	
Architect/Builder,	if known	Dat	te of construction, if known <u>ca</u>	a. 1880
DESCRIPTION				
Materials – please	e check those materials that ar	e visible		
Exterior Walls:	wood clapboard	wood shingle	vertical boards	plywood
	stone	☐ brick	poured concrete	concrete block
	☐ vinyl siding	aluminum siding	cement-asbestos	other other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	brick	poured concrete	concrete block
Other materials a	nd their location:			
Alterations, if know	wn: Replacement windows			Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
Photos Provide several cl For buildings or si acceptable for init	tructures, this includes exterior	e property proposed for nomir and interior views, general se	nation. Submitted views shoul stting, outbuildings and landsca	d represent the property as a whole ape features. Color prints are
	e photograph providing a comp parate envelope or stapled to a		operty to the front of this shee	t. Additional views should be
	r drawn locational map indicati ne property can be accurately p			rsections or other widely recognized edistances where possible.
Study: City of Bu	uffalo Intensive Level Historic F	Resources Survey: Broadway	Fillmore Neighborhood	
Prepared by: Clir	nton Brown Company Architect	ure, pc Addres:	s: 2100 Rand Building, 14 Lafa	ayette Sq., Buffalo NY 14203

(See following pages)

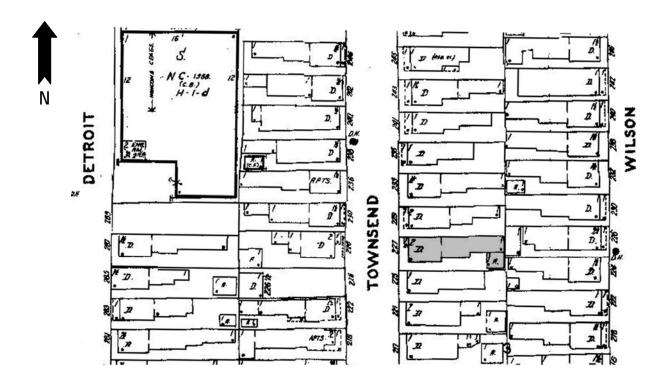
Email: cbca@buffnet.net

Date: 03/2004

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The multiple-family house at 227 Townsend Street is located on the west side of the street, north of Paderewski Drive. Townsend Street is a three-block long, residential street that extends from William Street to Broadway. The property is located in the southwest quadrant of the Broadway-Fillmore neighborhood. St. Stanislaus Church complex is located to immediately to the north.
A two-story, front-gabled, frame, extended workers' cottage with no foundation. Exterior wall fabric is clapboard. The façade entry door is located in the north bay and a triple window grouping is set in the south bay. Fenestration is two- and one-over-one, double-hung wood sash. Attached to the east end of the main block are two, one-story, gabled-roof additions. A brick chimney rests on the center ridge of the main block.
Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.
The building at 227 Townsend Street is significant as a good representative example of a two-story late nineteenth century workers' cottage. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.



PHOTOGRAPH: (Broadway-Fillmore R-9; N-28)



RESHAVION HIS OF PRESHAVIOR STATE George E. Pataki, Governor Bernadette Castro, Commissioner

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

<u>IDENTIFICAT</u>	<u>'ION</u>			
Property name (i	f any)			
Address or Stree	t Location 235 Townsend	Street		
County Erie	Town	/City Buffalo	Village/Hamlet:	
Owner		Address		_
Original use Res	sidence: multiple-family	Current use Re	esidence: multiple-family	
Architect/Builder	, if known		Date of construction, if known	ca. 1880
DESCRIPTION				
Materials - pleas	se check those materials that	are visible		
Exterior Walls:		☐ wood shingle	vertical boards	plywood
	stone	☐ brick	poured concrete	concrete block
	vinyl siding	aluminum siding	cement-asbestos	other other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	☐ metal ☐ slate
Foundation:	stone	☐ brick	poured concrete	concrete block
Other materials a	and their location:			
Alterations, if known	own: Replacement windows	s, enlarged (1906, 1941)		Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
	structures, this includes exter			ould represent the property as a whole. scape features. Color prints are
	e photograph providing a co		r property to the front of this sh	eet. Additional views should be

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

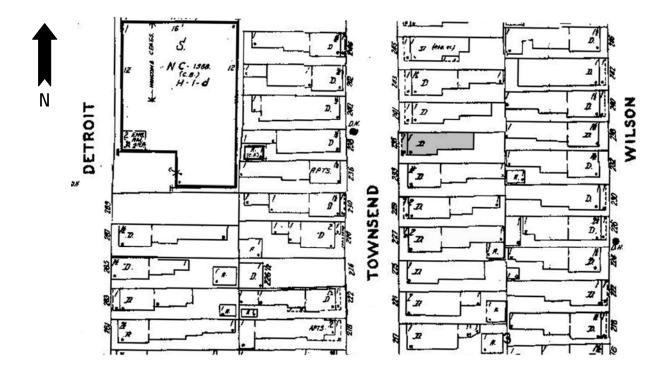
Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852 –2020 ext. **Email:** cbca@buffnet.net **Date:** 03/2004

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The multiple-family house at 235 Townsend Street is located on the east side of the street, north of Paderewski Drive. Townsend Street is a three-block long, residential street that extends from William Street to Broadway. The property is located in the southwest quadrant of the Broadway-Fillmore neighborhood. St. Stanislaus Church complex is located to the south. A vacant lot borders the property to the north.
A one-story, front-gabled, frame, extended workers' cottage with no foundation. Exterior wall fabric is clapboard. The façade has a full-width Craftsman porch with paneled square columns and a pediment above the entry door bay. The façade entry door is located in the north bay and a triple window grouping is set in the south bay. Fenestration is one-over-one, double-hung wood sash. Attached to the east end of the main block are two one-story, gabled-roof additions. A brick chimney rests on the near the rear ridge of the main block.
Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.
The building at 235 Townsend Street is significant as a good representative example of an extended late nineteenth century workers' cottage with a Craftsman porch. This two-family house was enlarged slightly by Jacob Musialowski in 1906, and again in 1941. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.



PHOTOGRAPH: (Broadway-Fillmore R-9; N-27)



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IDENTIFICATION

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

Date:

deteriorated

Property name (if a	any)			
Address or Street I	Location 240 Townsend Stre	eet		
County Erie	Town/Cit	y <u>Buffalo</u>	Village/Hamlet:	
Owner		Address		
Original use Resid	lence: single-family	Current use Vaca	ant	
Architect/Builder, if	known	Dat	e of construction, if known ca	. 1885
DESCRIPTION				
Materials – please	check those materials that are	e visible		
Exterior Walls:		☐ wood shingle	vertical boards	plywood
	stone	☐ brick	poured concrete	☐ concrete block
	vinyl siding	aluminum siding	cement-asbestos	other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	☐ metal ☐ slate
Foundation:	stone	brick	poured concrete	concrete block

Photos

Condition:

Other materials and their location:

Alterations, if known: Replacement windows

excellent

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

air

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Mans

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

⊠ good

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852 –2020 ext. **Email**: cbca@buffnet.net **Date**: 03/2004

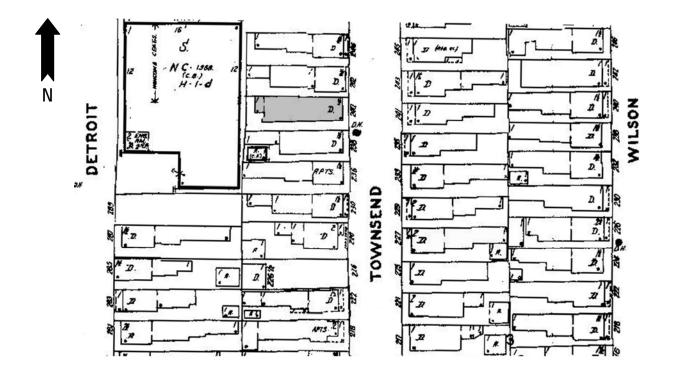
IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

long, residential street that extends from William Street to Broadway. The property is located in the southwest quadrant of the Broadway-Fillmore neighborhood. St. Stanislaus Church complex is located to the south. A vacant lot borders the property to the north.
A one-and-one-half story, front-gabled, frame, workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with rusticated concrete block foundation, open wooden rail and pedestals, square paneled piers, and a hipped roof. An entry door is located in the north bay and a triple window grouping is set in the south bay, both are currently boarded. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. A gabled dormer rests on the south slope. Extending west from the west end of the main block is a one-story, gabled roof addition. Two brick chimneys rest on the center ridge.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 240 Townsend Street as a good representative example of a late nineteenth century, extended workers' cottage with early
twentieth century Craftsman detailing. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be
constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike
the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been
erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per
month.



PHOTOGRAPH: (Broadway-Fillmore R-9; N-26)



RESERVANDA OF RE

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

IDENTIFICAT	<u>ION</u>			
Property name (in	f any)			
Address or Stree	t Location 31 Walden Aver			
County Erie	Town	/City <u>Buffalo</u>	Village/Hamlet:	
Owner		Address		
Original use Res	sidence: single-family	Current use R	esidence: single-family	
Architect/Builder,	if known		Date of construction, if known	ca. 1885
DESCRIPTION				
Materials - pleas	e check those materials that	are visible		
Exterior Walls:	wood clapboard		vertical boards	plywood
	stone	☐ brick	poured concrete	☐ concrete block
	vinyl siding	aluminum siding	cement-asbestos	other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	☐ brick	poured concrete	concrete block
Other materials a	and their location:			
Alterations, if kno	own: Replacement windows			Date:
Condition:	☐ excellent	⊠ good	fair	deteriorated
	structures, this includes exter			ould represent the property as a whole. Iscape features. Color prints are
	e photograph providing a cor parate envelope or stapled to		r property to the front of this sh	neet. Additional views should be
			erty in relationship to streets, ir rrow. Include a scale or estim	ntersections or other widely recognized ate distances where possible.
Study: City of B	uffalo Intensive Level Histori	c Resources Survey: Broadw	ay-Fillmore Neighborhood	
Prepared by: Cli	nton Brown Company Archit	ecture, pc Addi	ress: 2100 Rand Building, 14 L	_afayette Sq., Buffalo NY 14203
Telephone: (71	6) 852 –2020 ext.	E	Email: cbca@buffnet.net	Date : 03/2004

(See following pages)

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

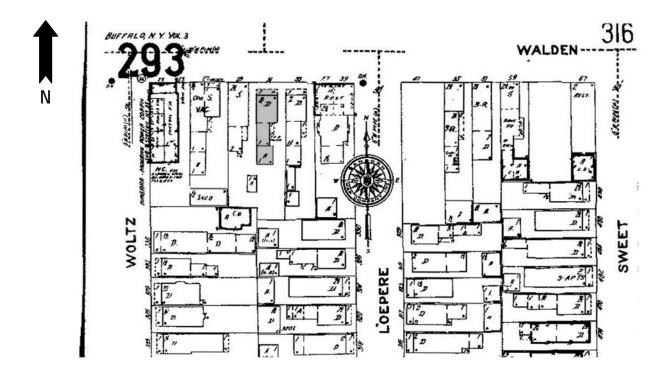
Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at **31 Walden Avenue** is located on the south side of the street, between Woltz and Loepere streets. Walden Avenue begins at the western terminus of Best Street at Genesee Street. It is a principal east-west thoroughfare to the city's eastern suburbs. Martin Luther King, Jr. Park is located to the northwest on Best Street. The property is located in the northwest corner of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with rusticated concrete block foundation, paneled square columns, a solid wooden rail, and a hipped roof. An entry door is located in the west bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. Eastlake molding and imbricated wood shingles accent the gable end. Extending south from the south end of the main block is a one-story, gabled roof addition. A brick chimney rests near ridge.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g., a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 31 Walden Avenue is significant as a good representative example of a late nineteenth century, extended workers' cottage with Eastlake and early twentieth century Craftsman detailing. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.



PHOTOGRAPH: (Broadway-Fillmore R-1; N-8)



RESERVANDA OF RE

Telephone: (716) 852 -2020 ext.

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

IDENTIFICATION	<u>ON</u>			
Property name (if a	any)			
Address or Street I	Location 83 Walden Avenue			
County Erie	Town/Cit	y <u>Buffalo</u>	Village/Hamlet:	_
Owner		Address		
Original use Resid	dence: multiple-family	Current use Resid	lence: multiple-family	
Architect/Builder, if	f known Otto Reimer, builder	Dat	e of construction, if known 1	906
<u>DESCRIPTION</u>				
Materials – please	check those materials that are	e visible		
Exterior Walls:	wood clapboard		vertical boards	plywood
	stone	☐ brick	poured concrete	☐ concrete block
	vinyl siding	aluminum siding	cement-asbestos	other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	brick	poured concrete	☐ concrete block
Other materials an	d their location:			
Alterations, if know	n: Replacement windows, se	econd story addition (1909)		Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
	ructures, this includes exterior			d represent the property as a whole ape features. Color prints are
	photograph providing a complarate envelope or stapled to a		operty to the front of this shee	t. Additional views should be
	drawn locational map indicatir e property can be accurately p			rsections or other widely recognized distances where possible.
Study: City of Buf	ffalo Intensive Level Historic R	esources Survey: Broadway-	Fillmore Neighborhood	
Prepared by: Clint	ton Brown Company Architect	ure, pc Address	s: 2100 Rand Building, 14 Lafa	ayette Sq., Buffalo NY 14203

(See following pages)

Email: cbca@buffnet.net

Date: 03/2004

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

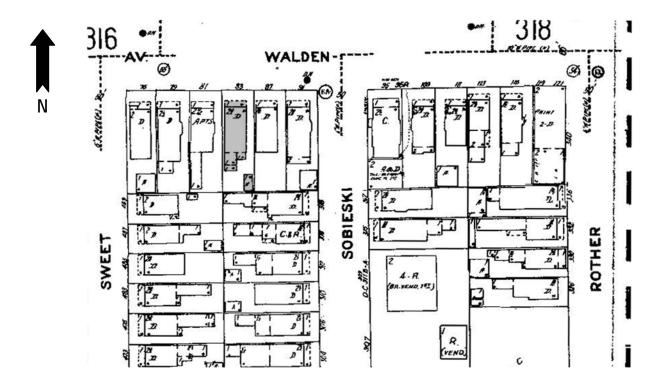
The multiple-family house at **83 Walden Avenue** is located on the south side of the street, between Sweet and Sobieski streets. Walden Avenue begins at the western terminus of Best Street at Genesee Street. It is a principal east-west thoroughfare to the city's eastern suburbs. Martin Luther King, Jr. Park is located to the northwest on Best Street. The property is located in the northwest corner of the Broadway-Fillmore neighborhood.

A two-and-one-half story, closed-gabled, frame building with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with rusticated concrete block foundation, paneled square columns, an open wooden rail and a hipped roof. An entry door is located in the west bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. Imbricated wood shingles sheath the gable end. Extending south from the south end of the main block is a one-story, gabled roof addition. A brick chimney rests on the east slope.

A detached, hipped-roof, single bay garage stands at the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 83 Walden Avenue is significant as a good representative example of a early twentieth century one-and-one-half -story
workers' cottage that was enlarged. It was built as a 11/2-story, two-family dwelling by Otto Reimer, and raised to a full two-stories in 1909 for
Mary Becker. Reimer was a building contractor, and was responsible for rebuilding the interior of the Holy Mother of the Rosary Church after
a fire in 1907. Because of growing families and the overall continued need for housing in the Broadway-Fillmore neighborhood, late
nineteenth and early twentieth century workers' cottages were commonly expanded and raised in the early twentieth century.



PHOTOGRAPH: (Broadway-Fillmore R-1; N-9)



RESERVATION - HISTORY OF PRESERVATION OF PRESE

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY	
USN:		

IDENTIFICAT	<u>ION</u>			
Property name (if	any)			
Address or Street	t Location 91 Walden Aven	ue		
County Erie	Town/	'City <u>Buffalo</u>	Village/Hamlet:	
Owner		Address		
Original use Res	idence: multiple- family	Current use Re	esidence: multiple-family	
Architect/Builder,	if known		Date of construction, if known	ca. 1910
DESCRIPTION				
Materials – pleas	e check those materials that	are visible		
Exterior Walls:	wood clapboard	wood shingle	vertical boards	plywood
	stone	☐ brick	poured concrete	concrete block
	vinyl siding	aluminum siding	cement-asbestos	other
Roof:	□ asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	☐ brick	poured concrete	☐ concrete block
Other materials a	nd their location:			-
Alterations, if kno	wn: Replacement windows,	, two story addition (1908)		Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
	tructures, this includes exteri			ould represent the property as a whole scape features. Color prints are
	e photograph providing a con parate envelope or stapled to		property to the front of this sh	eet. Additional views should be
			erty in relationship to streets, ir rrow. Include a scale or estima	ntersections or other widely recognized ate distances where possible.
Study: City of B	uffalo Intensive Level Historic	Resources Survey: Broadw	ay-Fillmore Neighborhood	
Prepared by: Cli	nton Brown Company Archite	ecture, pc Addr	ess: 2100 Rand Building, 14 L	afayette Sq., Buffalo NY 14203
Telephone: (716	5) 852 –2020 ext.	E	mail: cbca@buffnet.net	Date : 03/2004

(See following pages)

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

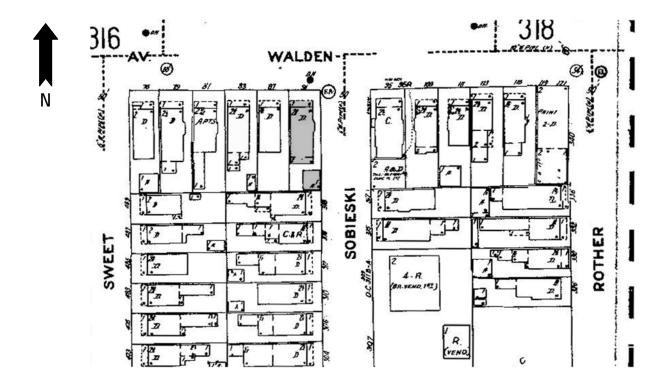
The multiple-family house at **91 Walden Avenue** is located on the southwest corner of Walden Avenue and Sobieski Street. Walden Avenue begins at the western terminus of Best Street at Genesee Street. It is a principal east-west thoroughfare to the city's eastern suburbs. Martin Luther King, Jr. Park is located to the northwest on Best Street. The property is located in the northwest corner of the Broadway-Fillmore neighborhood.

A two-and-one-half-story, closed-gabled, frame, multiple-family dwelling with no foundation. It has a rectangular plan. Exterior wall fabric is clapboard. The façade has a full-width Craftsman porch with a pediment over the entrance bay. The entrance is located in the west bay. Fenestration is one-over-one, double-hung wood sash. Other architectural details include corner boards and string courses that divide the levels of the façade. A 1908 two story addition with enclosed exterior stairway extends from the southern end of the main block. A chimney is located on the center ridge.

A detached, single bay garage with hipped roof stands at rear of the lot and fronts Sobieski Street.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 91 Walden Avenue is significant as a good representative example of a two-and-one-half-story multiple-family dwelling with
Craftsman details constructed in the early twentieth century in the Broadway-Fillmore neighborhood. This type of house quickly permeated
the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants,
largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing
stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.



PHOTOGRAPH: (Broadway-Fillmore R-1; N-10)



RESERVANDA OF RE

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY	
USN:		

IDENTIFICAT	ION			
Property name (in	fany)			
Address or Stree	t Location 98 Walden Aven			
County Erie	Town	/City <u>Buffalo</u>	Village/Hamlet:	
Owner		Address		
Original use Res	sidence: single-family	Current use R	esidence: single-family	
Architect/Builder,	if known		Date of construction, if known	ca. 1885
DESCRIPTION				
Materials - pleas	e check those materials that	are visible		
Exterior Walls:	wood clapboard	wood shingle	vertical boards	plywood
	stone	☐ brick	poured concrete	concrete block
	vinyl siding	aluminum siding	cement-asbestos	other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	☐ brick	poured concrete	☐ concrete block
Other materials a	and their location:			
Alterations, if kno	wn: Replacement windows			Date:
Condition:	excellent	⊠ good	fair	deteriorated
	structures, this includes exter			ould represent the property as a whole. scape features. Color prints are
	e photograph providing a cor parate envelope or stapled to		r property to the front of this sh	eet. Additional views should be
			erty in relationship to streets, ir rrow. Include a scale or estima	ntersections or other widely recognized ate distances where possible.
Study: City of B	uffalo Intensive Level Histori	c Resources Survey: Broadv	ay-Fillmore Neighborhood	
Prepared by: Cli	nton Brown Company Archit	ecture, pc Add	ress: 2100 Rand Building, 14 L	afayette Sq., Buffalo NY 14203
Telephone: (71	6) 852 –2020 ext.	E	Email: cbca@buffnet.net	Date : 03/2004

(See following pages)

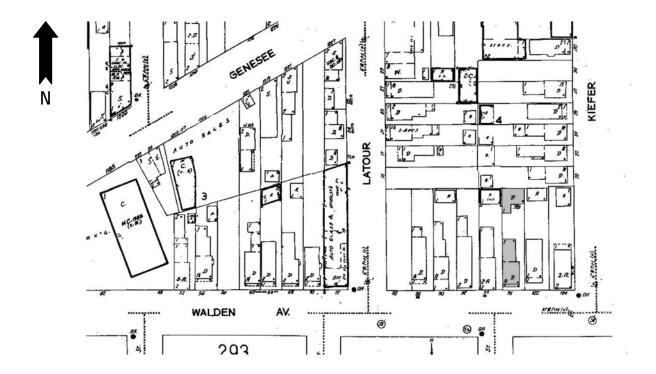
IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 98 Walden Avenue is located on the north side of the street, between Latour and Kiefer streets. Walden Avenue begins at the western terminus of Best Street at Genesee Street. It is a principal east-west thoroughfare to the city's eastern suburbs. Martin Luther King, Jr. Park is located to the northwest on Best Street. The property is located in the northwest corner of the Broadway-Fillmore neighborhood.
A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The entry door is set in the west bay and a triple window grouping is located in the east bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. Extending north from the north end of the main block is a one-story, gabled-roof addition. A brick chimney rests on the center ridge of the main block.
Newstive Description of Circliferance. Driefly describe these observatoristics by which this property may be considered historically significant. Circliferance

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g., a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

This type of modest accommodate the commercial building	t house quickly permea rapid influx of immigra ps, the vast majority of	ated the Broadway-Fillm ants, largely Polish, to the housing stock in th	nore neighborhood, as it the Broadway-Fillmore ne Broadway-Fillmore an	could be constructed inearea. Unlike the neig	xtended workers' cottage. expensively and quickly to hborhood's religious and cted to plans available to



PHOTOGRAPH: (Broadway-Fillmore R-1; N-11)



RESERVANDA ONEW YORK STATE STORE E. Pataki, Governor Bernadette Castro, Commissioner

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

IDENTIFICATION	<u>NC</u>					
Property name (if any)						
Address or Street Location 111 Walden Avenue						
County Erie	Town/Cit	y <u>Buffalo</u>	Village/Hamlet:			
Owner		Address				
Original use Resid	lence: multiple-family	Current use Resid	ence: multiple-family			
Architect/Builder, if	known Otto Reimer, builder	Date	of construction, if knownc	a. 1910		
<u>DESCRIPTION</u>						
Materials – please	check those materials that are	e visible				
Exterior Walls:			vertical boards	plywood		
	stone	☐ brick	poured concrete	concrete block		
	vinyl siding	aluminum siding	cement-asbestos	other		
Roof:	□ asphalt, shingle	asphalt, roll	wood shingle	metal slate		
Foundation:	stone	brick	poured concrete			
Other materials an	d their location:					
Alterations, if know	/n:			Date:		
Condition:	excellent	⊠ good	fair	deteriorated		
Photos Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.						
Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.						
Maps Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.						

(See following pages)

Email: cbca@buffnet.net

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Date: 03/2004

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Telephone: (716) 852 -2020 ext.

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

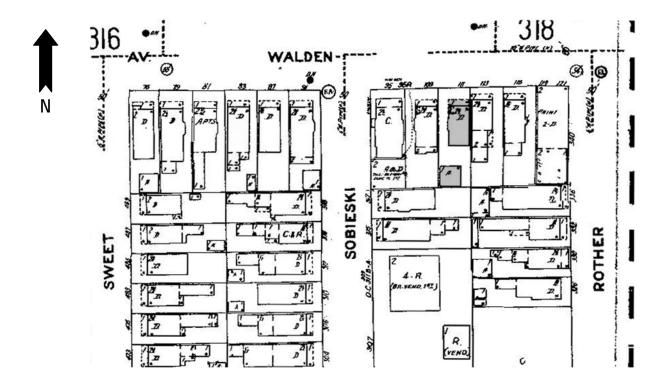
The multiple-family house at **111 Walden Avenue** is located on the south side of the street between Sobieski and Rother streets. Walden Avenue begins at the western terminus of Best Street at Genesee Street. It is a principal east-west thoroughfare to the city's eastern suburbs. Martin Luther King, Jr. Park is located to the northwest on Best Street. The property is located in the northwest corner of the Broadway-Fillmore neighborhood.

It was originally built as a one-and-one-half story, two-family dwelling by and was raised to a full two-stories in 1909. This Craftsman house has a hipped roof and full-width porch with square columns and a solid paneled rail. It has a rectangular plan and is set on a rusticated concrete block foundation. Entrances are located in the end bays and the central bay is punctuated by a triple-window grouping. Fenestration is one-over-one-double hung sash. Exterior wall fabrics are clapboard and wood shingle. The upper façade has an open porch with metal balustrade and an entrance in the east bay. A hipped dormer rests on the front slope. A full-height oriel is located on the west elevation. A brick chimney rests off-center ridge on the west slope.

A detached, two-bay garage with hipped roof stands at the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 111 Walden Avenue is significant as a good representative example of a modest workers' cottage that was enlarged to full two-stories. Because of growing families and the overall continued need for housing in the Broadway-Fillmore neighborhood, late nineteenth century workers' cottages were commonly expanded and raised in the early twentieth century.



PHOTOGRAPH: (Broadway-Fillmore R-1; N-12)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

IDEN	H	CAI	ION

Property name (if any)					
Address or Street I	Location 113 Walden Avenu	Je			
County Erie	Town/C	ity <u>Buffalo</u>	Village/Hamlet:	_	
Owner		Address			
Original use Resid	lence: multiple-family	Current use Resid	dence: multiple-family		
Architect/Builder, if	known	Da	te of construction, if known <u>c</u>	a. 1890	
DESCRIPTION					
Materials – please	check those materials that ar	re visible			
Exterior Walls:			vertical boards	plywood	
	stone	☐ brick	poured concrete	☐ concrete block	
	vinyl siding	aluminum siding	cement-asbestos	other other	
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate	
Foundation:	stone	☐ brick	poured concrete	□ concrete block □	
Other materials an	d their location:				
Alterations, if know	n: Replacement windows			Date:	
Condition:	excellent	⊠ good	☐ fair	deteriorated	
Photos Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.					
Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.					
	Maps Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.				
Study: City of Buf	falo Intensive Level Historic F	Resources Survey: Broadway	-Fillmore Neighborhood	_	
Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203					
Telephone: (716)	852 –2020 ext.	Ema	ail: cbca@buffnet.net	Date: 03/2004	

(See following pages)

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

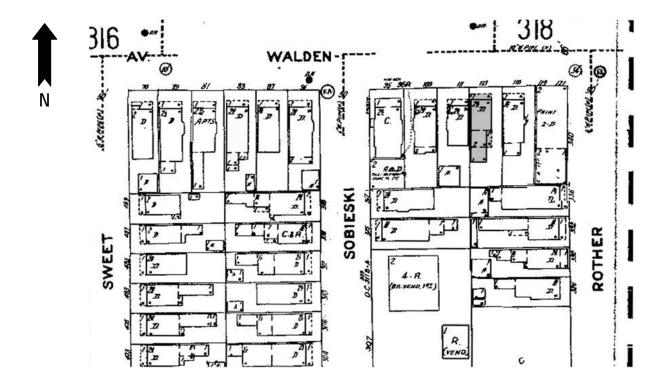
Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The multiple-family house at 113 Walden Avenue is located on the south side of the street between Sobieski and Rother streets. Walden Avenue begins at the western terminus of Best Street at Genesee Street. It is a principal east-west thoroughfare to the city's eastern suburbs. Martin Luther King, Jr. Park is located to the northwest on Best Street. The property is located in the northwest corner of the Broadway-Fillmore neighborhood.

A two-and-one-half story, closed-gabled Craftsman house. It has a rectangular plan and is set on a rusticated concrete block foundation. The façade has a full-width porch with rusticated concrete foundation and pedestals, paneled square piers and a replacement metal rail. The entrance is located in the west bay and a triple window grouping is set in the east bay. Fenestration is three- and one-over-one, double hung sash and casement. Exterior wall fabrics are clapboard and wood shingle. The upper façade has an open porch with metal balustrade, an oriel and an entrance in the west bay. A brick chimney rests off-center ridge on the west slope. A two-story addition extends south from the south end of the main block.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g., a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 113 Walden Avenue is significant as a good representative example of late-nineteenth century multiple-family dwelling with Craftsman details. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.



PHOTOGRAPH: (Broadway-Fillmore R-1; N-13)



RESERVATION - HISTORY OF THE SHAWARD OF THE SHAWARD

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

IDENTIFICATION	<u>ON</u>			
Property name (if a	any)			
Address or Street	Location 139 Walden Avenu			
County Erie	Town/Cit	ty Buffalo	Village/Hamlet:	_
Owner		Address		
Original use Resid	dence: single-family	Current use Res	sidence: single-family	
Architect/Builder, it	f known	D	ate of construction, if known <u>c</u>	a. 1915
<u>DESCRIPTION</u>				
Materials – please	check those materials that are	e visible		
Exterior Walls:	wood clapboard	wood shingle	vertical boards	plywood
	stone	☐ brick	poured concrete	☐ concrete block
	vinyl siding	aluminum siding	cement-asbestos	other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	☐ brick	poured concrete	☐ concrete block
Other materials an	d their location:			
Alterations, if know	n: Replacement windows			Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
	ructures, this includes exterior		ination. Submitted views shoul setting, outbuildings and landsc	ld represent the property as a whole ape features. Color prints are
	photograph providing a compl arate envelope or stapled to a		property to the front of this shee	t. Additional views should be
			ty in relationship to streets, inte ow. Include a scale or estimate	ersections or other widely recognized e distances where possible.
Study: City of Buf	ffalo Intensive Level Historic R	esources Survey: Broadwa	y-Fillmore Neighborhood	
Prepared by: Clin	ton Brown Company Architect	ure, pc Addre	ss: 2100 Rand Building, 14 Laf	ayette Sq., Buffalo NY 14203
Telephone: (716)	852 –2020 ext.	Er	nail: cbca@buffnet.net	Date : 03/2004

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

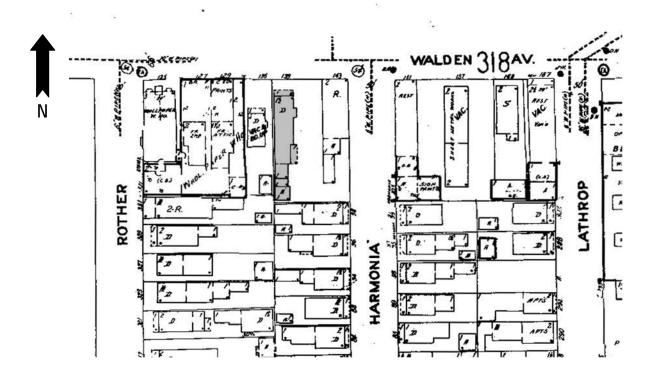
Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 139 Walden Avenue is located on the south side of the street, between Harmonia and Rother streets. Walder avenue begins at the western terminus of Best Street at Genesee Street. It is a principal east-west thoroughfare to the city's eastern suburbs flartin Luther King, Jr. Park is located to the northwest on Best Street. The property is located in the northwest corner of the Broadway illmore neighborhood.
a one-and-one-half story, frame, Craftsman workers' cottage with a broad front-gabled roof. It has a rectangular plan. The façade has an atact full-width porch with square columns, an open wooden rail, a pediment above the entry bay, and a hipped roof. The main entrance is sent the west bay and a triple-window grouping punctuates the west bay. Fenestration is one-over-one, double-hung wood sash. Exterior was abric is clapboard. The gable end features cornice returns and a paired window grouping with pent. The roof features shed dormers and two rick chimneys. The east elevation has an oriel. A one-story addition extends south from the south end of the main block.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 139 Walden Avenue is significant as a good representative example of Craftsman workers' cottage. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) - Plate 294



PHOTOGRAPH: (Broadway-Fillmore R-1; N-14)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY	
USN:		

IDEI	VП	FIC	;A I	ΓΙΟΝ

Property name (i	f any) Buffalo Traction Comp	pany streetcar barn		
Address or Stree	et Location 175 Walden Ave	enue		
County Erie	Town	/City Buffalo	Village/Hamlet:	
Owner		Address		
Original use <u>Tra</u>	nsportation	Current use I	ndustrial	
Architect/Builder	, if known George A Ricker,	architect	Date of construction, if known	1897
DESCRIPTION				
Materials - pleas	se check those materials that	are visible		
Exterior Walls:	wood clapboard	wood shingle	vertical boards	plywood
	stone	brick brick	poured concrete	☐ concrete block
	vinyl siding	aluminum siding	cement-asbestos	other
Roof:	□ asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	☐ brick	poured concrete	concrete block
Other materials a	and their location:			
Alterations, if kno	own: 1899 addition, 1928 bu	ıs garage		Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
	structures, this includes exter			ould represent the property as a whole. scape features. Color prints are
	e photograph providing a cor eparate envelope or stapled to		or property to the front of this sh	eet. Additional views should be
			perty in relationship to streets, ir arrow. Include a scale or estima	ntersections or other widely recognized ate distances where possible.
Study: City of B	uffalo Intensive Level Histori	c Resources Survey: Broad	way-Fillmore Neighborhood	
Prepared by: Cl	inton Brown Company Archit	ecture, pc Add	dress: 2100 Rand Building, 14 L	afayette Sq., Buffalo NY 14203
Telephone: (71	6) 852 –2020 ext.		Email: cbca@buffnet.net	Date : 03/2004

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

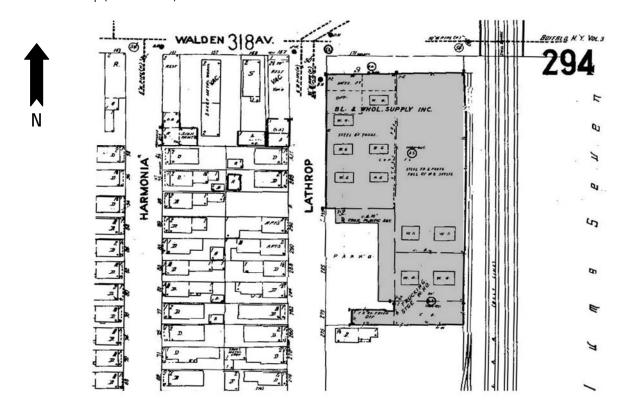
The building at 175 Walden Avenue is located on the southeast corner of Walden Avenue and Lathrop Street. Walden Avenue begins at the western terminus of Best Street at Genesee Street. It is a principal east-west thoroughfare to the city's eastern suburbs. The former tracks of the New York Central Railroad border the property to the east. Martin Luther King, Jr. Park is located to the west on Best Street. The property is located in the northwest corner of the Broadway-Fillmore neighborhood.

A one-and-one-half story, brick building with a broad gabled roof and stepped parapet. The main block features round arched-windows with stone impost blocks openings on the ground floor. The façade window openings feature stone keystones and brick panels. The upper façade has an oculus the end bays and three window groupings comprised of a large central, round-arch window opening with a triple window grouping flanked by single, round-arched openings. Fenestration is six-over-one double-hung wood sash. A one-story, flat-roofed, brick addition with steel frame is attached to the east side of the main block.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g., a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The Buffalo Traction Company streetcar barn at 175 Walden Avenue is significant as a good representative example of an architect-designed transportation building constructed in the late-1890s in the Broadway-Fillmore neighborhood. Designed by local architect George A. Ricker, it was built as a streetcar barn for the Buffalo Traction Company, which later became the International Railway Co. A bus garage was added in 1928. It is also historically significant for its association with the city's transportation history. The building is a poignant reminder of this bygone mode of urban travel. The construction of the Belt Line railway in the 1880s somewhat east of the Broadway-Fillmore area also played a role in the neighborhood's development. It was usually considered the boundary of the large East Side Polish community.

MAP: Sanborn Map (Revised 1986) - Plate 294



PHOTOGRAPH: (Broadway-Fillmore R-11; N-15)



RESERVANDO NEW YORK STATE George E. Pataki, Governor Bernadette Castro, Commissioner

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

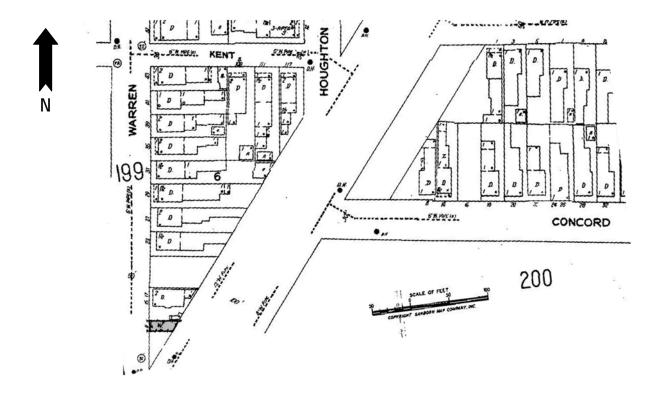
IDENTIFICAT	<u>'ION</u>			
Property name (i	f any)			
Address or Stree	t Location 11 Warren Stree	et		
County Erie	Town	/City <u>Buffalo</u>	Village/Hamlet:	
Owner		Address		
Original use Com	nmercial	Current use _\	/acant	
Architect/Builder,	, if known		Date of construction, if known	1928
DESCRIPTION				
Materials – pleas	e check those materials that	are visible		
Exterior Walls:	wood clapboard	☐ wood shingle	☐ vertical boards	plywood
	stone	☐ brick	poured concrete	concrete block
	vinyl siding	aluminum siding	cement-asbestos	other stucco
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	☐ brick	poured concrete	concrete block
Other materials a	and their location:			
Alterations, if kno				Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
	structures, this includes exter			ould represent the property as a whole scape features. Color prints are
	e photograph providing a con parate envelope or stapled t		or property to the front of this sh	eet. Additional views should be
			perty in relationship to streets, in arrow. Include a scale or estima	ntersections or other widely recognized ate distances where possible.
Study: City of B	uffalo Intensive Level Histori	c Resources Survey: Broad	way-Fillmore Neighborhood	
Prepared by: Cli	inton Brown Company Archit	ecture, pc Add	Iress: 2100 Rand Building, 14 L	Lafayette Sq., Buffalo NY 14203
Telephone: (71	6) 852 –2020 ext.		Email: cbca@buffnet.net	Date: 03/2004

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The building at 11 Warren Street is located on a triangular-shaped parcel on the northeast corner of Warren Avenue and Memorial Drive. The surrounding area is residential. The New York Central Terminal stands to the south. When the terminal was constructed in the late 1920s, the city revised the street plan of the southeast section of the Broadway-Fillmore neighborhood. Memorial Drive, a broad, diagonal avenue leading northeast from William Street to Broadway, was created at that time.
A small, flat-roofed, rectangular-shaped building that was originally constructed as a filling station. Exterior fabric is stucco. The west elevation features a garage bay. The south elevation has a boarded window and an entrance door in the east bay. The roof has a curved parapet.
Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.
The building at 11 Warren Street is significant as a good representative example of a filling station constructed in the late 1920s in the Broadway-Fillmore neighborhood. The gas station, also called the filling or service station, developed in the early twentieth century to provide fuel and other automobile products at a convenient location for the growing number of car owners. During the 1920s, oil companies began constructing gas stations in residential neighborhoods. These small buildings reflected the popular residential architectural styles of the period, the Colonial Revival, Craftsman, and cottage variant of Tudor Revival styles were favored for exterior detailing.

MAP: Sanborn Map (Revised 1986) – Plate 198



PHOTOGRAPH: (Broadway-Fillmore R-12; N-16)



George E. Pataki, Governor Bernadette Castro, Commissioner

IDENTIFICATION

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY	
USN:		

Date:

deteriorated

concrete block

Property name (i	f any)			
Address or Stree	t Location 12 Warren Stre	et		
County Erie	Towr	n/City Buffalo	Village/Hamlet:	
Owner		Address		
Original use Res	sidence: single-family	Current use Re	esidence: single-family	
Architect/Builder,	, if known		Date of construction, if known_	ca. 1890
DESCRIPTION				
Materials – pleas	se check those materials tha	t are visible		
Exterior Walls:	wood clapboard	wood shingle	vertical boards	plywood
	stone	☐ brick	poured concrete	concrete block
	☐ vinyl siding	aluminum siding	cement-asbestos	other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate

Photos

Condition:

Foundation:

stone

Alterations, if known: Replacement windows

excellent

Other materials and their location:

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

poured concrete

☐ fair

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

☐ brick

⊠ good

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

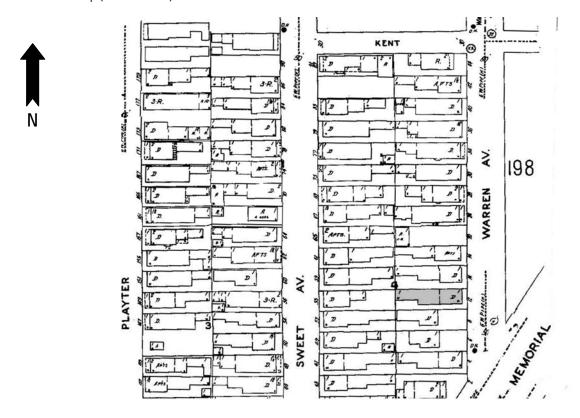
Email: cbca@buffnet.net Telephone: (716) 852 -2020 ext. Date: 03/2004

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

	The single-family house at 12 Warren Street is located on the west side of street, just north of Memorial Drive. Warren Street is a two-block long, north-south street extending from Memorial Drive to Broadway. The New York Central terminal stands to the southwest. The property is located in the southern section of the Broadway-Fillmore neighborhood.
	A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The entry door is set in the north bay and a triple window grouping is located in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. A brick chimney rests on the center ridge of the main block. A one-story, gabled-roof addition with entrance on the south side extends west from the west end of the main block.
J	
	Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.
	The building at 12 Warren Street is significant as a good representative example of an extended workers' cottage constructed in ca. 1890. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 199



PHOTOGRAPH: (Broadway-Fillmore R-12; N-15)



George E. Pataki, Governor Bernadette Castro, Commissioner

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY	
USN:		

IDENTIFICAT	<u> TION</u>				
Property name (if any)				
Address or Stree	et Location 29 Warren Stree	et			
County Erie	Town	/City <u>Buffalo</u>	Village/Hamlet:		
Owner		Address			
Original use Re	sidence: single-family	Current use Re	esidence: single-family		
Architect/Builder	, if known	I	Date of construction, if known	ca. 1890	
DESCRIPTION					
Materials - pleas	se check those materials that	are visible			
Exterior Walls:	wood clapboard		vertical boards	plywood	
	stone	☐ brick	poured concrete	☐ concrete block	
	vinyl siding	☐ aluminum siding	cement-asbestos	other other	
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate	
Foundation:	stone	☐ brick	poured concrete	concrete block	
Other materials	and their location:				
Alterations, if known	own: Replacement windows			Date:	
Condition:	excellent	⊠ good	☐ fair	deteriorated	
Photos Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.					
	ne photograph providing a co eparate envelope or stapled t		property to the front of this sh	eet. Additional views should be	
Maps Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.					

(See following pages)

Email: cbca@buffnet.net

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Date: 03/2004

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Telephone: (716) 852 -2020 ext.

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

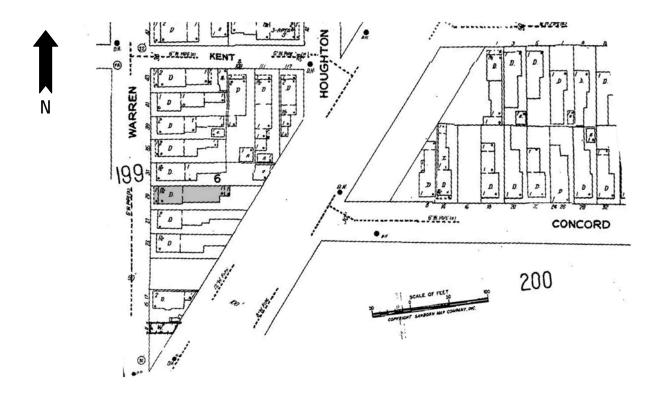
Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

block long, north-south street extending from Memorial Drive to Broadway. The New York Central terminal stands to the southwest. The property is located in the southern section of the Broadway-Fillmore neighborhood.
A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with a rusticated concrete block foundation and piers, a replacement rail and supports, and a gabled roof with wood shingles. The entry door is located in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. Extending east from the east end of the main block is a one-story, gabled-roof addition. A brick chimney rests off-center ridge.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

e building at 29 Warren Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with
rly twentieth century Craftsman detailing. The front portion of this 2 family dwelling was added by Joseph Lukasik in 1918. This type of
odest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate
e rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings
e vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by
ail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 198



PHOTOGRAPH: (Broadway-Fillmore R-12; N-17)



George E. Pataki, Governor Bernadette Castro, Commissioner

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

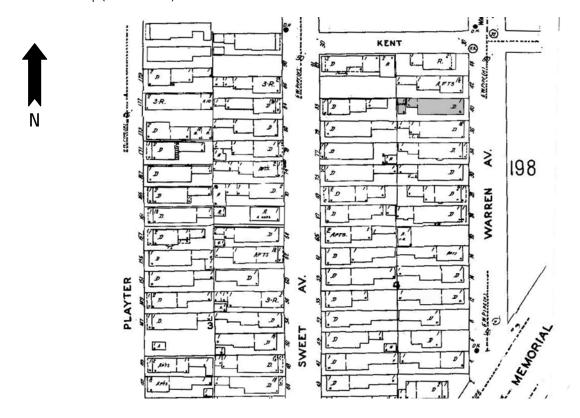
IDENTIFICATION	<u>ON</u>				
Property name (if a	any)				
Address or Street	Location 40 Warren Street				
County Erie	Town/Cit	y <u>Buffalo</u>	Village/Hamlet:	_	
Owner		Address			
Original use Resid	dence: multiple-family	Current use Resi	dence: multiple-family		
Architect/Builder, i	f known	Da	te of construction, if known <u>ca</u>	. 1905	
DESCRIPTION					
Materials – please	check those materials that are	e visible			
Exterior Walls:	wood clapboard	wood shingle	vertical boards	plywood	
	stone	☐ brick	poured concrete	☐ concrete block	
	vinyl siding	aluminum siding	cement-asbestos	other	
Roof:	asphalt, shingle	asphalt, roll	☐ wood shingle	metal slate	
Foundation:	stone	brick	poured concrete	concrete block	
Other materials an	d their location:				
Alterations, if know	n: Replacement windows			Date:	
Condition:	excellent	⊠ good	☐ fair	deteriorated	
Photos Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.					
	photograph providing a compl arate envelope or stapled to a		roperty to the front of this shee	t. Additional views should be	
			y in relationship to streets, inte w. Include a scale or estimate	rsections or other widely recognized distances where possible.	
Study: City of But	ffalo Intensive Level Historic R	esources Survey: Broadway	r-Fillmore Neighborhood		
Prepared by: Clin	ton Brown Company Architect	ure, pc Addres	s: 2100 Rand Building, 14 Lafa	ayette Sq., Buffalo NY 14203	
Telephone: (716)	852 –2020 ext.	Em	ail: cbca@buffnet.net	Date: 03/2004	

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The multiple-family house at 40 Warren Street is located on the west side of the block, just south of Kent Street. Warren Street is a two-block long, north-south street extending from Memorial Drive to Broadway. The New York Central terminal stands to the southwest. The property is located in the southern section of the Broadway-Fillmore neighborhood.
A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has an entry door and stoop in the north bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. Extending west from the west end of the main block is a one-story, gabled-roof addition. A side entrance is located on the south elevation at the junction of the main block and roof addition.
of the main block and rear addition. A brick chimney rests on the off-center ridge.
Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.
The building at 40 Warren Street is significant as a good representative example of an extended workers' cottage constructed just after the turn of the twentieth century. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 199



PHOTOGRAPH: (Broadway-Fillmore R-12; N-14)



RESERVANDO O NEW YORK STATE George E. Pataki, Governor Bernadette Castro, Commissioner

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

IDENTIFICATION	<u>NC</u>			
Property name (if a	any)			
Address or Street I	Location 59 Warren Street			
County Erie	Town/Cit	y Buffalo	Village/Hamlet:	
Owner		Address		
Original use Resid	lence: single-family			
Architect/Builder, if	known	Dat	e of construction, if known 19	907
DESCRIPTION				
Materials – please	check those materials that are	e visible		
Exterior Walls:			vertical boards	plywood
	stone	☐ brick	poured concrete	concrete block
	vinyl siding	aluminum siding	cement-asbestos	other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	brick	poured concrete	concrete block
Other materials an	d their location:			
Alterations, if know	n: Replacement windows			Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
Photos Provide several cle For buildings or str acceptable for initia	uctures, this includes exterior	e property proposed for nomin and interior views, general se	nation. Submitted views should tting, outbuildings and landsca	d represent the property as a whole. ape features. Color prints are
	photograph providing a complarate envelope or stapled to a		operty to the front of this shee	t. Additional views should be
	drawn locational map indicatir e property can be accurately p			rsections or other widely recognized distances where possible.
Study: City of Buf	falo Intensive Level Historic R	esources Survey: Broadway-	Fillmore Neighborhood	

(See following pages)

Email: cbca@buffnet.net

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Date: 03/2004

Prepared by: Clinton Brown Company Architecture, pc

Telephone: (716) 852 -2020 ext.

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

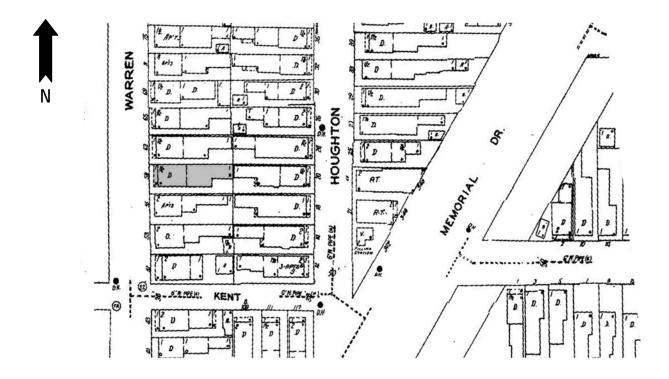
The building at **59 Warren Street** is located on the east side of the block, north of Kent Street. Warren Street is a two-block long, north-south street extending from Memorial Drive to Broadway. The New York Central terminal stands to the southwest. The property is located in the southern section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with square columns, an open wooden rail, and a pent roof. The entry door is located in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. All of the window and door openings in the ground floor are boarded. The gable end is sheathed with wood shingles and it features a recessed, paired window grouping corner boards, and a wide frieze. Extending east from the east end of the main block are two one-story, gabled-roof additions. A brick chimney rests on the center ridge of the main block and rear additions.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g., a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 59 Warren Street is significant as a good representative example of Craftsman, extended workers' cottage. It was built for Wojciech Nowicki. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 198



PHOTOGRAPH: (Broadway-Fillmore R-12; N-13)



George E. Pataki, Governor Bernadette Castro, Commissioner

Telephone: (716) 852 -2020 ext.

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

IDENTIFICATION	<u>NC</u>			
Property name (if a	any)			
Address or Street I	Location 60 Warren Street			
County Erie	Town/Cit	y <u>Buffalo</u>	Village/Hamlet:	
Owner		Address		
Original use Resid	lence: single-family	Current use Vacar	nt	
Architect/Builder, if	known	Date	e of construction, if known <u>ca</u>	a. 1890
DESCRIPTION				
Materials – please	check those materials that are	e visible		
Exterior Walls:			vertical boards	plywood
	stone	☐ brick	poured concrete	☐ concrete block
	vinyl siding	aluminum siding	cement-asbestos	other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	brick	poured concrete	concrete block
Other materials an	d their location:			
Alterations, if know	n: Replacement windows			Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
	uctures, this includes exterior			d represent the property as a whole ape features. Color prints are
	photograph providing a compl arate envelope or stapled to a		operty to the front of this shee	t. Additional views should be
	drawn locational map indicatir e property can be accurately p			rsections or other widely recognized distances where possible.
Study: City of Buf	falo Intensive Level Historic R	esources Survey: Broadway-	Fillmore Neighborhood	
Prepared by: Clint	ton Brown Company Architectu	ure, pc Address	s: 2100 Rand Building, 14 Lafa	ayette Sq., Buffalo NY 14203

(See following pages)

Email: cbca@buffnet.net

Date: 03/2004

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The building at 60 Warren Street is located on the west side of the block, north of Kent Street. Warren Street is a two-block long, north-south

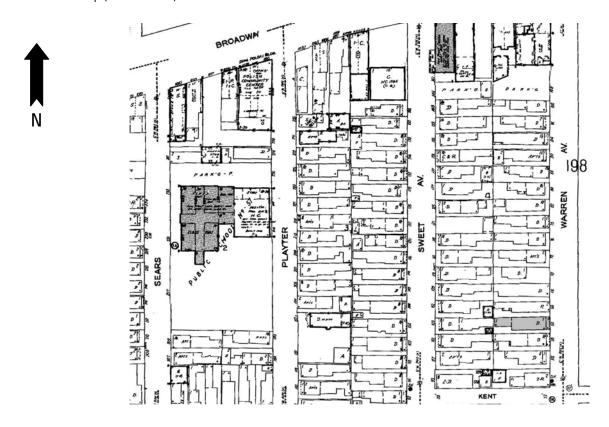
street extending from Memorial Drive to Broadway. The New York Central terminal stands to the southwest. The property is located in the southern section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with rusticated concrete block foundation pedestals, battered piers, open wooden rail, and a gabled roof with exposed rafter tail ends and wood shingles. An entry door is located in the north bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. The ground floor window and door openings are presently boarded. Eastlake molding accents the gable end. Extending west from the west end of the main block is a one-story, gabled roof addition. A side entrance with a bracketed canopy is located on the south elevation.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 60 Warren Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with Eastlake and early twentieth century Craftsman detailing. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 197



PHOTOGRAPH: (Broadway-Fillmore R-12; N-12)



George E. Pataki, Governor Bernadette Castro, Commissioner

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

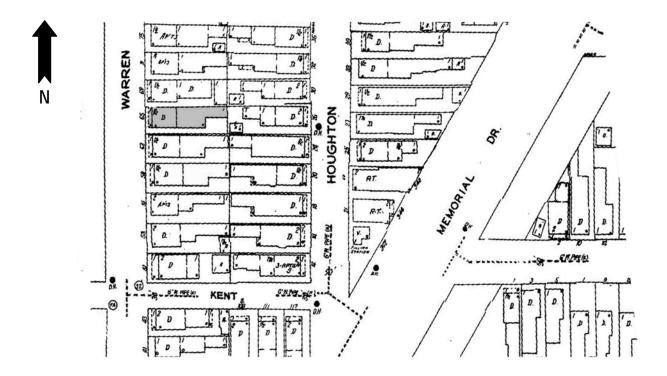
IDENTIFICAT	<u>'ION</u>			
Property name (i	f any)			
Address or Stree	et Location 65 Warren Stree	et		
County Erie	Town	/City Buffalo	Village/Hamlet:	
Owner		Address		
Original use Res	sidence: single-family	Current use _F	Residence: single-family	
Architect/Builder	, if known		Date of construction, if known	ca. 1900
DESCRIPTION				
Materials – pleas	se check those materials that	are visible		
Exterior Walls:		☐ wood shingle	vertical boards	plywood
	stone	☐ brick	poured concrete	concrete block
	vinyl siding	aluminum siding	cement-asbestos	other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	brick	poured concrete	concrete block
Other materials a	and their location:			
Alterations, if known	own: Replacement windows	, addition (1907)		Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
	structures, this includes exter			ould represent the property as a whole scape features. Color prints are
	e photograph providing a con eparate envelope or stapled t		or property to the front of this sh	eet. Additional views should be
			perty in relationship to streets, in arrow. Include a scale or estima	ntersections or other widely recognized ate distances where possible.
Study: City of B	uffalo Intensive Level Histori	c Resources Survey: Broad	way-Fillmore Neighborhood	
Prepared by: Cl	inton Brown Company Archit	ecture, pc Add	Iress: 2100 Rand Building, 14 L	afayette Sq., Buffalo NY 14203
Telephone: (71	6) 852 –2020 ext.		Email: cbca@buffnet.net	Date : 03/2004

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

•	The single-family house at 65 Warren Street is located on the east side of the block, north of Kent Street. Warren Street is a two-block long, north-south street extending from Memorial Drive to Broadway. The New York Central terminal stands to the southwest. The property is located in the southern section of the Broadway-Fillmore neighborhood.
	A one-and-one-half story, front-gabled, frame, workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with rusticated concrete block foundation, square posts, open wooden rail, and a hipped roof. An entry door is located in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. Extending east from the east end of the main block are two one-story, gabled roof additions. A brick chimney rests on the center ridge.
	Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.
	The building at 65 Warren Street is significant as a good representative example of a ca. 1900, extended workers' cottage with early twentieth century Craftsman detailing. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 198



PHOTOGRAPH: (Broadway-Fillmore R-12; N-11)



HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

IDENTIFICATION

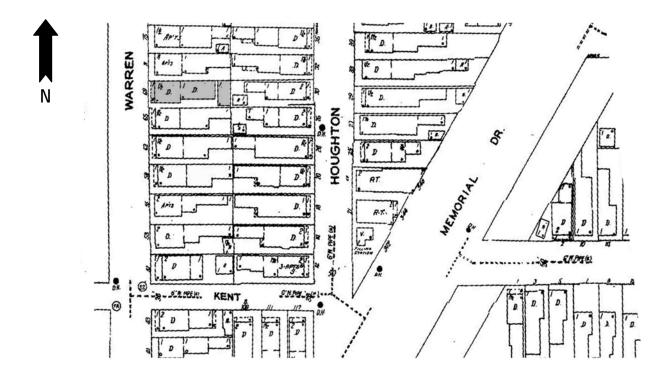
Property name (if any)					
Address or Street I	_ocation 69 Warren Street				
County Erie	Town/Cit	y Buffalo	Village/Hamlet:		
Owner		Address			
Original use Resid	lence: multiple-family	Current use Resid	dence: multiple-family		
Architect/Builder, if	known	Da	Date of construction, if known ca. 1900		
DESCRIPTION					
Materials – please	check those materials that are	e visible			
Exterior Walls:		wood shingle	vertical boards	plywood	
	stone	☐ brick	poured concrete	concrete block	
	vinyl siding	aluminum siding	□ cement-asbestos	other other	
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate	
Foundation:	stone	☐ brick	poured concrete	concrete block	
Other materials and	d their location:				
Alterations, if know	n: Replacement windows			Date:	
Condition:	excellent	⊠ good	☐ fair	deteriorated	
Photos Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.					
Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.					
Maps Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.					
Study: City of Buf	falo Intensive Level Historic R	esources Survey: Broadway	-Fillmore Neighborhood		
Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203					
Telephone: (716)	852 –2020 ext.	Ema	ail: cbca@buffnet.net	Date: 03/2004	

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

no	ne multiple-ramily house at 69 warren Street is located on the east side of the block, north of Kent Street. Warren Street is a two-block long, orth-south street extending from Memorial Drive to Broadway. The New York Central terminal stands to the southwest. The property is cated in the southern section of the Broadway-Fillmore neighborhood.
Crabra bra asl	one-and-one-half story, front-gabled, frame, workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width raftsman porch with rusticated concrete block foundation and pedestals, paneled square piers, open wooden rail, and a hipped roof with ackets. An entry door is located in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard and obestos shingle. Fenestration is one-over-one, double-hung wood sash. Extending east from the east end of the main block are a one-and-ne-half story addition and a one-story addition. Shed roof dormers are located on the north and south slopes. A brick chimney rests on the enter ridge.

The building at 69 Warren Street is significant as a good representative example of a good representative example of a ca. 1900, extended
workers' cottage with early twentieth century Craftsman detailing. This two-family house was enlarged to the rear for Szymon Sapanski in
1907. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and
quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious
and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to
builders in books or by mail.



PHOTOGRAPH: (Broadway-Fillmore R-12; N-10)



RESERVANDA PROPERTY OF RESERVANDA PROPERTY OF

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY	
USN:		

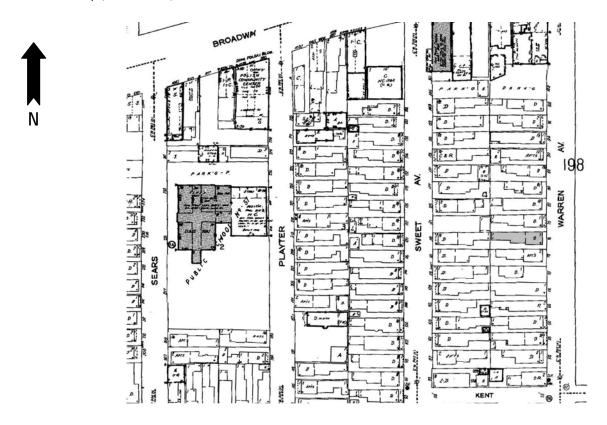
IDENTIFICATI	<u>ON</u>				
Property name (if	any)				
Address or Street	Location 76 Warren Street				
County Erie	Town/Ci	ty Buffalo	Village/Hamlet:		
Owner		Address			
Original use Resi	dence: multiple-family	Current use Res	dence: multiple-family		
Architect/Builder, i	f known	Da	Date of construction, if known ca. 1890		
DESCRIPTION					
Materials – please	check those materials that are	e visible			
Exterior Walls:	wood clapboard	wood shingle	vertical boards	plywood	
	stone	☐ brick	poured concrete	☐ concrete block	
	☐ vinyl siding	aluminum siding	cement-asbestos	other other	
Roof:	asphalt, shingle	asphalt, roll	☐ wood shingle	metal slate	
Foundation:	stone	brick	poured concrete	☐ concrete block	
Other materials ar	nd their location:				
Alterations, if know	vn: Replacement windows			Date:	
Condition:	excellent	⊠ good	☐ fair	deteriorated	
Photos Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.					
Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.					
Maps Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.					
Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood					
Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203					
Telephone: (716)) 852 –2020 ext.	Em	ail: cbca@buffnet.net	Date: 03/2004	

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

long, north-south street extending from Memorial Drive to Broadway. The New York Central terminal stands to the southwest. The property is located in the southern section of the Broadway-Fillmore neighborhood.
A one-story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The entry door with replacement stoop is set in the north bay and a triple window grouping is located in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. Extending west from the west end of the main block is a one-story, gabled-roof addition. A brick chimney rests on the center ridge of the main block.
Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.
The building at 76 Warren Street is significant as a good representative example of a late nineteenth century, extended workers' cottage. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 197



PHOTOGRAPH: (Broadway-Fillmore R-12; N-9)



Telephone: (716) 852 -2020 ext.

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY	
USN:		

IDENTIFICATION	<u>\</u>					
Property name (if any	y)					
Address or Street Loc	cation 83 Warren Street					
County Erie	Town/City	Buffalo	Village/Hamlet:			
Owner		Address				
Original use Residen	nce: multiple-family	Current use Reside	ence: single-family			
Architect/Builder, if kr	nown	Date	e of construction, if known <u>ca</u>	. 1890		
<u>DESCRIPTION</u>						
Materials – please ch	neck those materials that are	visible				
Exterior Walls:	wood clapboard		vertical boards	plywood		
	stone	☐ brick	poured concrete	☐ concrete block		
	vinyl siding	aluminum siding	cement-asbestos	other		
Roof:	☑ asphalt, shingle	asphalt, roll	wood shingle	metal slate		
Foundation:	stone	☐ brick	poured concrete	concrete block		
Other materials and t	heir location:					
Alterations, if known:	Replacement windows			Date:		
Condition:	excellent	⊠ good	☐ fair	deteriorated		
	tures, this includes exterior a		ation. Submitted views should ting, outbuildings and landsca	I represent the property as a whole pe features. Color prints are		
	otograph providing a comple ate envelope or stapled to a c		perty to the front of this sheet.	. Additional views should be		
			in relationship to streets, inters	sections or other widely recognized distances where possible.		
Study: City of Buffal	o Intensive Level Historic Re	esources Survey: Broadway-F	Fillmore Neighborhood			
Prepared by: Clinton	Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203					

(See following pages)

Email: cbca@buffnet.net

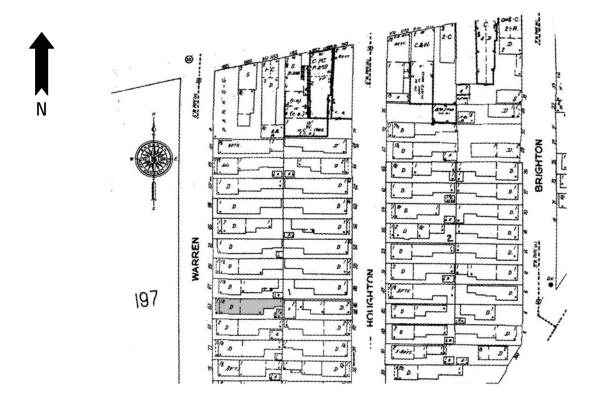
Date: 03/2004

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

north-south street extending from Memorial Drive to Broadway. The New York Central terminal stands to the southwest. The property is located in the southern section of the Broadway-Fillmore neighborhood.
A one-and-one-half story, front-gabled, frame, workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with a wood-base, square battered columns, and a closed gable roof with wood shingle. A Craftsman entrance with ¾ sidelights is located in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard. Fenestration is three-, two- and one-over-one, double-hung wood sash. Eastlake molding accents the gable end. A gabled dormer rests on the north slope. Extending east from the east end of the main block is a one-story, gabled roof addition. A brick chimney rests on the center ridge.

The building at 83 Warren Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with
Eastlake and early twentieth century Craftsman detailing. This type of modest house quickly permeated the Broadway-Fillmore neighborhood,
as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore
area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area
would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for
\$9 or \$10 per month.



PHOTOGRAPH: (Broadway-Fillmore R-12; N-8)



RESERVATION - HISTORY OF PRESERVATION OF PRESE

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY	
USN:		

IDENTIFICATI	<u>ON</u>			
Property name (if	any)			
Address or Street	Location 94 Warren Street			
County Erie	Town/Ci	ty <u>Buffalo</u>	Village/Hamlet:	
Owner		Address		
Original use Resi	dence: multiple-family			
Architect/Builder,	if known	Dat	te of construction, if known <u>ca</u>	a. 1885
DESCRIPTION				
Materials - please	e check those materials that ar	e visible		
Exterior Walls:	wood clapboard	wood shingle	vertical boards	plywood
	stone	☐ brick	poured concrete	☐ concrete block
	☐ vinyl siding	aluminum siding	cement-asbestos	other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	☐ brick	poured concrete	☐ concrete block
Other materials ar	nd their location:			
Alterations, if know	wn: Replacement windows			Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
Photos Provide several cl For buildings or st acceptable for init	ructures, this includes exterior	e property proposed for nomir and interior views, general se	nation. Submitted views shouletting, outbuildings and landsca	d represent the property as a whole ape features. Color prints are
	photograph providing a comporate envelope or stapled to a		operty to the front of this shee	t. Additional views should be
	r drawn locational map indicati ne property can be accurately p			rsections or other widely recognized distances where possible.
Study: City of Bu	ıffalo Intensive Level Historic F	Resources Survey: Broadway-	-Fillmore Neighborhood	
Prepared by: Clir	nton Brown Company Architect	ture, pc Address	s: 2100 Rand Building, 14 Lafa	ayette Sq., Buffalo NY 14203
Telephone: (716) 852 –2020 ext.	Ema	ail: cbca@buffnet.net	Date : 03/2004

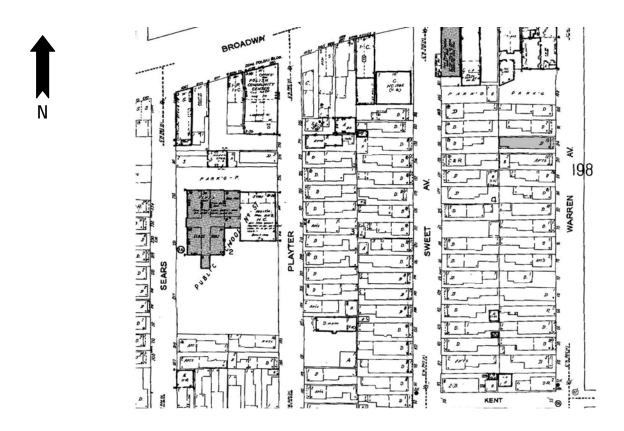
IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at **94 Warren Street** is located on the west side of the block, north of Kent Street. Warren Street is a two-block long, north-south street extending from Memorial Drive to Broadway. The New York Central terminal stands to the southwest. The property is located in the southern section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with rusticated concrete block foundation and pedestals, battered paneled piers columns, open wooden rail, and a hipped roof with exposed rafter tail ends. The entrance door is located in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. The south elevation has a side entrance. A shed dormer rests on the south slope. Extending west from the west end of the main block is a one-story, gabled roof addition with a gabled dormer. A concrete block chimney rests on the center ridge.

The building at 94 Warren Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with
early twentieth century Craftsman detailing. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be
constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike
the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been
erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per
month.



PHOTOGRAPH: (Broadway-Fillmore R-12; N-7)



HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

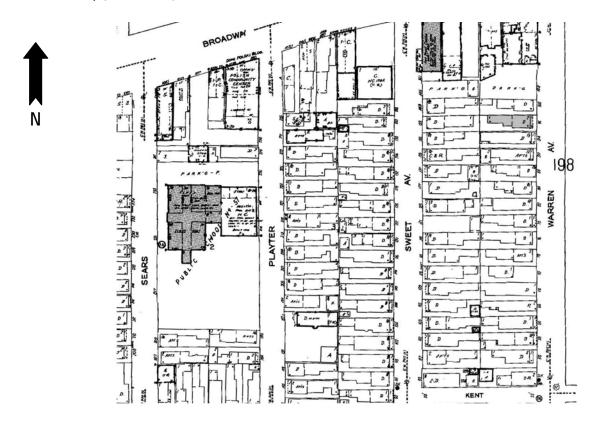
IDENTIFICATION	<u>ON</u>			
Property name (if a	any)			
Address or Street	Location 96 Warren Street			
County Erie	Town/Ci	ty <u>Buffalo</u>	Village/Hamlet:	
Owner		Address		
Original use Resid	dence: multiple-family	Current use Va	cant	
Architect/Builder, i	f known		Date of construction, if known <u>c</u>	a. 1905
DESCRIPTION				
Materials – please	check those materials that are	e visible		
Exterior Walls:	wood clapboard	wood shingle	vertical boards	plywood
	stone	☐ brick	poured concrete	☐ concrete block
	vinyl siding	aluminum siding	□ cement-asbestos	other other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	☐ brick	poured concrete	☐ concrete block
Other materials an	d their location:			
Alterations, if know	vn: Replacement windows			Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
	ructures, this includes exterior		nination. Submitted views shou setting, outbuildings and landsc	old represent the property as a whole cape features. Color prints are
	photograph providing a compl arate envelope or stapled to a		property to the front of this shee	et. Additional views should be
			erty in relationship to streets, interrow. Include a scale or estimate	ersections or other widely recognized e distances where possible.
Study: City of But	ffalo Intensive Level Historic R	esources Survey: Broadwa	ay-Fillmore Neighborhood	
Prepared by: Clin	ton Brown Company Architect	ure, pc Addre	ess: 2100 Rand Building, 14 Laf	fayette Sq., Buffalo NY 14203
Telephone: (716)	852 –2020 ext.	Eı	mail: cbca@buffnet.net	Date: 03/2004

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The multiple-family house at 96 Warren Street is located on the west side of the block, just south of Broadway. Warren Street is a two-block long, north-south street extending from Memorial Drive to Broadway. The New York Central terminal stands to the southwest. The property is located in the southern section of the Broadway-Fillmore neighborhood.
A two-and-one-half story, closed-gabled, frame, vernacular residence with no foundation. It has a rectangular plan. Exterior wall fabrics are clapboard on the main block and asbestos shingle in the gable end. The façade has a full-width porch with columns with ionic capitols, a spindlework balustrade, pediment above the entry bay, and a pent roof with modillion course. The entrance is located in the north bay. All of the window and door openings in the first floor are presently boarded. Fenestration is symmetrical featuring one-over-one double-hung sash. A one story addition extends west from the west end of the main block. Two brick chimneys rest on the roof ridge.
Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.
The building at 96 Warren Street is significant as a a good representative example of a two-and-one-half story, extended workers' cottage that was constructed just after the turn of the twentieth century. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 197



PHOTOGRAPH: (Broadway-Fillmore R-12; N-6)



HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY	
USN:		

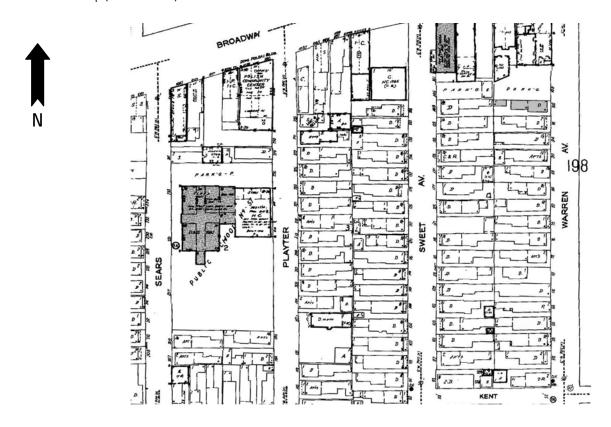
IDENTIFICAT	ION			
Property name (if	any)			
Address or Street	t Location 100 Warren Stree			
County Erie	Town/	City <u>Buffalo</u>	Village/Hamlet:	
Owner		Address		
Original use Res	idence: multiple-family	Current use Re	esidence: multiple-family	
Architect/Builder,	if known		Date of construction, if known	ca. 1890
DESCRIPTION				
Materials – pleas	e check those materials that	are visible		
Exterior Walls:	wood clapboard	wood shingle	vertical boards	plywood
	stone	☐ brick	poured concrete	☐ concrete block
	vinyl siding	aluminum siding	cement-asbestos	other
Roof:	asphalt, shingle	asphalt, roll	☐ wood shingle	metal slate
Foundation:	stone	☐ brick	poured concrete	☐ concrete block
Other materials a	nd their location:			
Alterations, if kno	wn: Replacement windows			Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
	tructures, this includes exteri			ould represent the property as a whole. Iscape features. Color prints are
	e photograph providing a con parate envelope or stapled to		property to the front of this sh	neet. Additional views should be
			erty in relationship to streets, ir rrow. Include a scale or estima	ntersections or other widely recognized ate distances where possible.
Study: City of B	uffalo Intensive Level Historic	Resources Survey: Broadw	ray-Fillmore Neighborhood	
Prepared by: Cli	nton Brown Company Archite	ecture, pc Addr	ess: 2100 Rand Building, 14 L	_afayette Sq., Buffalo NY 14203
Telephone: (716	6) 852 –2020 ext.	E	imail: cbca@buffnet.net	Date : 03/2004

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The multiple-family house at 100 Warren Street is located on the west side of the block, just south of Broadway. Warren Street is a two-block long, north-south street extending from Memorial Drive to Broadway. The New York Central terminal stands to the southwest. The property is located in the southern section of the Broadway-Fillmore neighborhood.
A two-and-one-half story, closed-gabled, frame, vernacular residence with no foundation. It has a rectangular plan. Exterior wall fabrics are clapboard on the main block and asbestos shingle in the gable end. The façade has entrance with stoop in the north bay and triple-window grouping in the south bay. Fenestration is one-over-one double-hung sash. A one-story addition extends west from the west end of the main block. A brick chimney rests on the roof ridge.
Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.
The building at 100 Warren Street is significant as a good representative example of a two-and-one-half story, extended workers' cottage that was constructed in the last decade of the nineteenth century. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 197



PHOTOGRAPH: (Broadway-Fillmore R-12; N-5)



Telephone: (716) 852 -2020 ext.

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

IDENTIFICAT	ION			
Property name (if	any)			
Address or Street	t Location 743 William Stre	et		
County Erie	Town/	City Buffalo	Village/Hamlet:	_
Owner		Address		
Original use Con	nmercial	Current use Va	acant	
Architect/Builder,	if known		Date of construction, if known_	ca. 1935
<u>DESCRIPTION</u>				
Materials – pleas	e check those materials that	are visible		
Exterior Walls:	wood clapboard	wood shingle	vertical boards	plywood
	stone	☐ brick	poured concrete	concrete block
	vinyl siding	aluminum siding	cement-asbestos	
Roof:	asphalt, shingle	asphalt, roll	☐ wood shingle	metal slate
Foundation:	stone	☐ brick	poured concrete	concrete block
Other materials a	nd their location:			
Alterations, if kno	wn: Replacement windows			Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
	tructures, this includes exteri			ould represent the property as a whole scape features. Color prints are
	e photograph providing a con parate envelope or stapled to		property to the front of this sho	eet. Additional views should be
			erty in relationship to streets, in rrow. Include a scale or estima	ntersections or other widely recognized ate distances where possible.
Study: City of Bu	uffalo Intensive Level Historio	Resources Survey: Broadw	ay-Fillmore Neighborhood	
Prepared by: Cli	nton Brown Company Archite	ecture, pc Addr	ess: 2100 Rand Building, 14 L	afayette Sq., Buffalo NY 14203

(See following pages)

Email: cbca@buffnet.net

Date: 03/2004

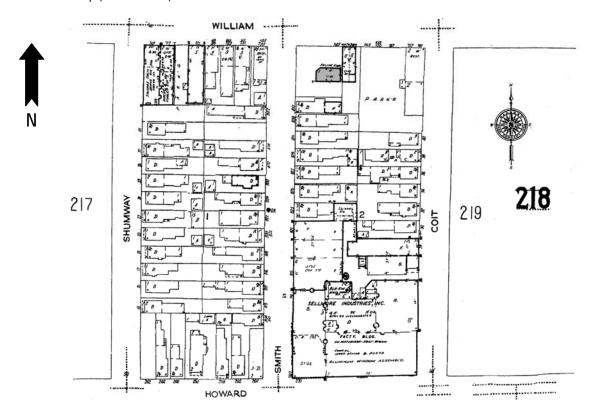
IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The building at 743 William Street is located on the southwest corner of William and Smith streets. The property is located in the southwest corner of the Broadway-Fillmore neighborhood. William Street is one of the principal east-west streets radiating from the center of downtown Buffalo, and it forms the southern edge of the neighborhood. Horse-drawn streetcars appeared on William Street in the 1870s. Most of the smaller, north-south streets in the area between Best Street on the north and William Street on the south were laid out as in parallel rows beginning in the 1870s, when residential development of the area commenced.
A one-story, flat-roofed building with canted entrance bay flanked by display windows. The roofline features Spanish Colonial inspired pantile pent and parapets with clay tile coping. The north elevation features two service bays and the west elevation has a single service bay. Window openings and all but one service bay are presently boarded.

The building at 743 William Street is significant as a good representative example of a service station constructed in the mid-1930s in the Broadway-Fillmore neighborhood. The gas station, also called the filling or service station, developed in the early twentieth century to provide fuel and other automobile products at a convenient location for the growing number of car owners. During the 1920s, oil companies began constructing gas stations in residential neighborhoods. These small buildings reflected the popular residential architectural styles of the period; the Colonial Revival, Craftsman, and cottage variant of Tudor Revival styles were favored for exterior detailing.

MAP: Sanborn Map (Revised 1986) – Plate



PHOTOGRAPH: (Broadway-Fillmore R-13; N-1)



RESERVATION HISTORY OF RESERVATION OF PRESERVATION OF PRESERVA

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

IDENTIFICAT	ION			
Property name (if	any)			
Address or Street	t Location 42 Wilson Street			
County Erie	Town/0	City Buffalo	Village/Hamlet: _	_
Owner		Address		
Original use Res	idence: multiple-family	Current use Res	sidence: single-family	
Architect/Builder,	if known	D	ate of construction, if known_	ca. 1880
DESCRIPTION				
Materials – pleas	e check those materials that a	re visible		
Exterior Walls:		wood shingle	vertical boards	plywood
	stone	☐ brick	poured concrete	☐ concrete block
	vinyl siding	aluminum siding	cement-asbestos	other other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	brick	poured concrete	concrete block
Other materials a	nd their location:			
Alterations, if kno	wn: Replacement windows,	addition (1920)		Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
	tructures, this includes exterio			ould represent the property as a whole. scape features. Color prints are
	e photograph providing a com parate envelope or stapled to		property to the front of this she	eet. Additional views should be
Maps Attach a printed of features so that the	or drawn locational map indica he property can be accurately	ting the location of the proper positioned. Show a north arr	rty in relationship to streets, in row. Include a scale or estima	tersections or other widely recognized ate distances where possible.

(See following pages)

Email: cbca@buffnet.net

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Date: 03/2004

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Telephone: (716) 852 -2020 ext.

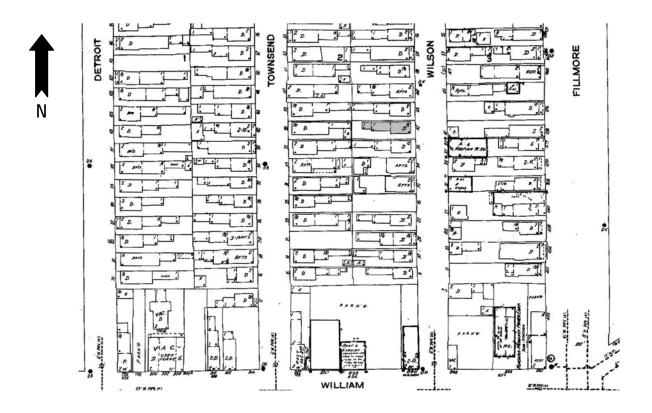
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The single-family house at **42 Wilson Street** is located on the west side of the street, north of William Street. Wilson Street is a six-block long, north-south residential street spanning from William Street to Genesee Street. Most of the smaller, north-south streets in the area between Best Street on the north and William Street on the south were laid out as in parallel rows beginning in the 1870s, when residential development of the area commenced. The property is located in the southwest corner of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the south.

A one-and-one-half story, front-gabled, frame, workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with rusticated concrete block foundation and pedestals, square paneled piers, open wooden rail, and a hipped roof. An entry door is located in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. Extending west from the west end of the main block is a one-story, gabled-roof addition. Side entrances are located on the south elevation. A brick chimney rests on the center ridge.

The building at 42 Wilson Street is significant as a good representative example of as a good representative example of a late nine	eteenth
century, extended workers' cottage with early twentieth century Craftsman detailing. It received an addition in 1920. This type of n	nodest
house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate	ate the
rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial building	gs, the
vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by	y mail.
In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.	



PHOTOGRAPH: (Broadway-Fillmore R-5; N-28)



RESERVANDA O NEW YORK STATE Servadette Castro, Commissioner

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY	
USN:		

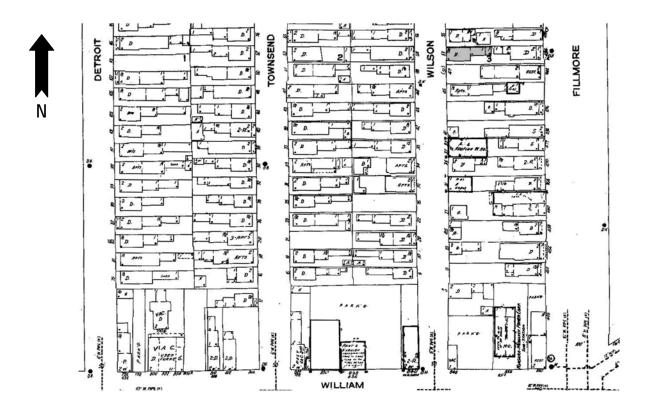
IDENTIFICAT	ION				
Property name (i	f any)				
Address or Stree	t Location 53 Wilson Street	1			
County Erie	Town	'City <u>Buffalo</u>	Village/Hamlet:		
Owner		Address			
Original use <u>Co</u>	mmercial and Residence: sir	gle-family Current use Re	esidence: single-family		
Architect/Builder, if known			Date of construction, if known ca. 1880		
DESCRIPTION					
Materials – pleas	se check those materials that	are visible			
Exterior Walls:		☐ wood shingle	vertical boards	☐ plywood	
	stone	☐ brick	poured concrete	☐ concrete block	
	vinyl siding	aluminum siding	cement-asbestos	other	
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate	
Foundation:	stone	brick	poured concrete	☐ concrete block	
Other materials a	and their location:				
Alterations, if kno				Date: 1904	
Condition:	excellent	good	∫ fair	deteriorated	
	structures, this includes exter			ould represent the property as a whole scape features. Color prints are	
	e photograph providing a cor parate envelope or stapled to		property to the front of this sh	eet. Additional views should be	
			erty in relationship to streets, in rrow. Include a scale or estima	ntersections or other widely recognized ate distances where possible.	
Study: City of B	uffalo Intensive Level Historio	Resources Survey: Broadw	ay-Fillmore Neighborhood		
Prepared by: Cl	inton Brown Company Archite	ecture, pc Addr	ess: 2100 Rand Building, 14 L	afayette Sq., Buffalo NY 14203	
Telephone: (71	6) 852 –2020 ext.	E	mail: cbca@buffnet.net	Date : 03/2004	

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 53 Wilson Street is located on the east side of the street, north of William Street. Wilson Street is a six-block long, north-south residential street spanning from William Street to Genesee Street. Most of the smaller, north-south streets in the area between Best Street on the north and William Street on the south were laid out as in parallel rows beginning in the 1870s, when residential development of the area commenced. The property is located in the southwest corner of the Broadway-Fillmore neighborhood. A vacant lot
borders the property to the north.
A one-and one-half story, frame, extended workers' cottage. It has a rectangular plan and no foundation. The main entrance is located on the south elevation. Exterior fabric is clapboard. Fenestration is three- and one-over-one double-hung wood sash. A one-story, gabled addition extends east from the east end of the main block. A brick chimney rests on the center ridges of the main block and rear addition.

The building at 53 Wilson Street is significant as a good representative example of a late nineteenth century, extended workers' cottage.
Originally a store and dwelling, it was enlarged for Frank Dubisz in 1904. This type of modest house quickly permeated the Broadway-
Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to
the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the
Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.



PHOTOGRAPH: (Broadway-Fillmore R-6; N-3)



RESERVANDA OF RE

Telephone: (716) 852 –2020 ext.

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY	
USN:		

IDENTIFICAT	ΓΙΟΝ			
Property name (if any)			
Address or Stree	et Location 192 Wilson Str			
County Erie	Tow	n/City <u>Buffalo</u>	Village/Hamlet:	
Owner		Address		
Original use Re	sidence: multiple-family	Current use Re	esidence: multiple-family	
Architect/Builder	r, if known		Date of construction, if known	ca. 1885
DESCRIPTION				
Materials – pleas	se check those materials tha	t are visible		
Exterior Walls:	wood clapboard	wood shingle	vertical boards	plywood
	stone	☐ brick	poured concrete	☐ concrete block
	vinyl siding	aluminum siding	cement-asbestos	other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	☐ brick	poured concrete	☐ concrete block
Other materials	and their location:			
Alterations, if kn	own: Replacement window	S		Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
For buildings or				ould represent the property as a whole scape features. Color prints are
	ne photograph providing a co eparate envelope or stapled		r property to the front of this sh	neet. Additional views should be
		cating the location of the property positioned. Show a north a		ntersections or other widely recognized ate distances where possible.
Study: City of E	Buffalo Intensive Level Histor	ic Resources Survey: Broadw	ray-Fillmore Neighborhood	
Prepared by: C	linton Brown Company Arch	tecture, pc Addr	ess: 2100 Rand Building, 14 L	_afayette Sq., Buffalo NY 14203

(See following pages)

Email: cbca@buffnet.net

Date: 03/2004

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

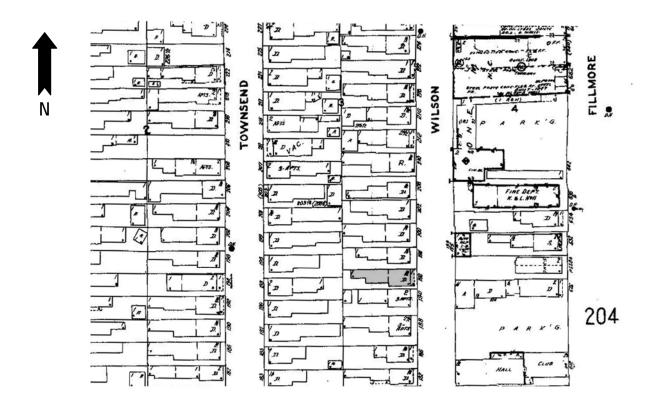
Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The multiple-family house at 192 Wilson Street is located on the west side of the street, north of Paderewski Drive. Wilson Street is a six-block long, north-south residential street spanning from William Street to Genesee Street. Most of the smaller, north-south streets in the area between Best Street on the north and William Street on the south were laid out as in parallel rows beginning in the 1870s, when residential development of the area commenced. The property is located in the southwest corner of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with rusticated concrete block foundation and pedestals, square paneled piers, open wooden rail, and a hipped roof with brackets. An entry door is located in the north bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. Shed dormers rest on the north and south slopes. Extending west from the west end of the main block is a one-story, gabled-roof addition. A brick chimney rests on the center ridge.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 192 Wilson Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with early twentieth century Craftsman detailing. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.



PHOTOGRAPH: (Broadway-Fillmore R-5; N-29)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

IDENTIFICAT	<u>ION</u>			
Property name (if	fany)			
Address or Stree	t Location 222 Wilson Stree	et		
County Erie	Town/	City <u>Buffalo</u>	Village/Hamlet:	
Owner		Address		
Original use Res	sidence: multiple-family	Current use Re	esidence:multiple-family	
Architect/Builder,	if known		Date of construction, if known	ca. 1885
<u>DESCRIPTION</u>				
Materials - pleas	e check those materials that	are visible		
Exterior Walls:		☐ wood shingle	vertical boards	plywood
	stone	☐ brick	poured concrete	concrete block
	vinyl siding	aluminum siding	cement-asbestos	other other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	brick	poured concrete	concrete block
Other materials a	and their location:			
Alterations, if kno	wn:			Date:
Condition:	excellent	⊠ good	fair	deteriorated
	structures, this includes exteri			ould represent the property as a whole. scape features. Color prints are
	e photograph providing a con parate envelope or stapled to		r property to the front of this sh	eet. Additional views should be
			erty in relationship to streets, ir rrow. Include a scale or estima	ntersections or other widely recognized ate distances where possible.

(See following pages)

Email: cbca@buffnet.net

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Date: 03/2004

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Telephone: (716) 852 –2020 ext.

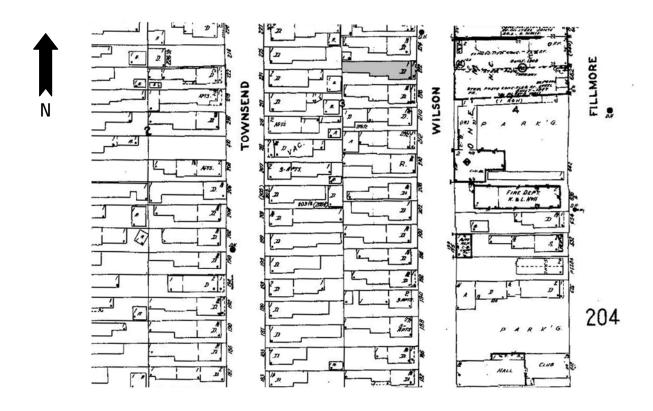
IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The multiple-family house at 222 Wilson Street is located on the west side of the street, north of Paderewski Drive. Wilson Street is a six-block long, north-south residential street spanning from William Street to Genesee Street. Most of the smaller, north-south streets in the area between Best Street on the north and William Street on the south were laid out as in parallel rows beginning in the 1870s, when residential development of the area commenced. The property is located in the southwest corner of the Broadway-Fillmore neighborhood. A
A one-and-one-half story, front-gabled, frame, workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with replacement rail and supports. It has an off-center entrance door, and a triple-window grouping in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. Extending west from the west end of the main block is a one story addition with a shed dormer.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 222 Wilson Street is significant as a good representative example of a late nineteenth century, extended workers' cottage.
This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to
accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and
commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to
builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.
, i



PHOTOGRAPH: (Broadway-Fillmore R-5; N-30)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY	
USN:		

IDENTIFICATION		
Property name (if any)	 	

Address or Stree	et Location 226 Wilson Stre	et		
County Erie Town/City Buffalo		/City Buffalo	Village/Hamlet:	
Owner		Address		
Original use Res	sidence: multiple-family	Current use Re	esidence: multiple-family	_
Architect/Builder	, if known		Date of construction, if known	ca. 1885
DESCRIPTION				
Materials - pleas	se check those materials that	are visible		
Exterior Walls:	wood clapboard		vertical boards	plywood
	stone	☐ brick	poured concrete	concrete block
	vinyl siding	aluminum siding	cement-asbestos	other other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	☐ brick	poured concrete	☐ concrete block
Other materials a	and their location:			
	own: Replacement windows			Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
	structures, this includes exter			ould represent the property as a whole scape features. Color prints are
	e photograph providing a con eparate envelope or stapled t		r property to the front of this sh	eet. Additional views should be
			erty in relationship to streets, ir rrow. Include a scale or estima	ntersections or other widely recognized ate distances where possible.
Study: City of B	uffalo Intensive Level Histori	c Resources Survey: Broadw	ray-Fillmore Neighborhood	
Prepared by: Cl	inton Brown Company Archit	ecture, pc Addr	ess: 2100 Rand Building, 14 L	Lafayette Sq., Buffalo NY 14203
Telephone: (71	6) 852 –2020 ext.	E	imail: cbca@buffnet.net	Date : 03/2004

(See following pages)

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

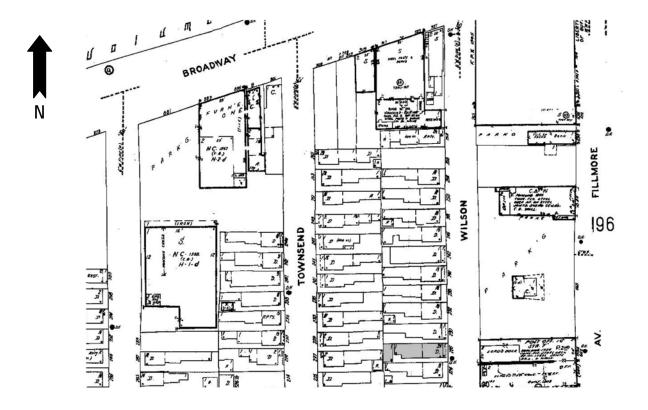
The multiple-family house at 226 Wilson Street is located on the west side of the street, north of Paderewski Drive. Wilson Street is a six-block long, north-south residential street spanning from William Street to Genesee Street. Most of the smaller, north-south streets in the area between Best Street on the north and William Street on the south were laid out as in parallel rows beginning in the 1870s, when residential development of the area commenced. The property is located in the southwest corner of the Broadway-Fillmore neighborhood.

A two-and-one-half story, front-gabled residence with Craftsman detailing. It has a full-width porch with rusticated concrete foundation and pedestals, battered piers, replacement wooden rail, and a flat roof. A Craftsman-style entrance door is located in the north bay and a triple-window grouping is set in the south bay. The upper façade has an open porch with replacement balustrade and an entrance in the north bay. Fenestration is one-over-one-double-hung wood sash and casement. Exterior fabric is clapboard. A one-story addition extends west from the west end of the main block.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 226 Wilson Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with early twentieth century Craftsman detailing. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 195



PHOTOGRAPH: (Broadway-Fillmore R-5; N-31)



RESERVATION - HISTORY OF PRESERVATION OF PRESE

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY	
USN:		

IDENTIFICAT	ION			
Property name (if	any)			
Address or Street	t Location 242 Wilson Stree	t		
County Erie	Town/	City <u>Buffalo</u>	Village/Hamlet:	
Owner		Address		
Original use Res	idence: single-family	Current use V	acant	
Architect/Builder,	if known		Date of construction, if known	ca. 1885
DESCRIPTION				
Materials – pleas	e check those materials that	are visible		
Exterior Walls:	wood clapboard	☐ wood shingle	vertical boards	plywood
	stone	☐ brick	poured concrete	concrete block
	vinyl siding	aluminum siding	cement-asbestos	other
Roof:	□ asphalt, shingle	asphalt, roll	☐ wood shingle	metal slate
Foundation:	stone	☐ brick	poured concrete	☐ concrete block
Other materials a	and their location:			-
Alterations, if kno	wn: Replacement windows,			Date:
Condition:	excellent	⊠ good	fair	deteriorated
	tructures, this includes exteri			ould represent the property as a whole scape features. Color prints are
	e photograph providing a con parate envelope or stapled to		or property to the front of this sh	eet. Additional views should be
			perty in relationship to streets, in arrow. Include a scale or estima	ntersections or other widely recognized ate distances where possible.
Study: City of B	uffalo Intensive Level Historic	Resources Survey: Broad	way-Fillmore Neighborhood	
Prepared by: Cli	nton Brown Company Archite	ecture, pc Add	ress: 2100 Rand Building, 14 L	afayette Sq., Buffalo NY 14203
Telephone: (716	6) 852 –2020 ext.		Email: cbca@buffnet.net	Date : 03/2004

(See following pages)

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

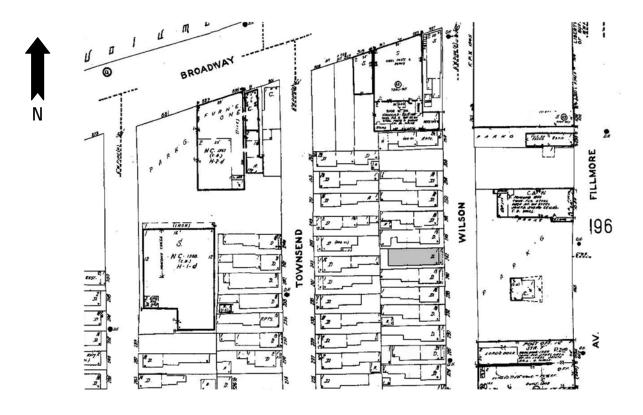
Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The building at 242 Wilson Street is located on the west side of the street, north of Broadway. Wilson Street is a six-block long, north-south residential street spanning from William Street to Genesee Street. Most of the smaller, north-south streets in the area between Best Street on the north and William Street on the south were laid out in parallel rows beginning in the 1870s, when residential development of the area commenced. The property is located in the southwest corner of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled residence with Craftsman detailing. It has a full-width porch with a wood-shingled base, battered paneled columns, an open wooden rail, and a hipped-roof. An entrance is located in the north bay. All of the window and door openings of the ground floor are boarded. Fenestration is one-over-one-double-hung wood sash casement. Exterior fabric is clapboard. A one-story addition extends west from the west end of the main block. A side entrance is located on south elevation and a gabled dormer rests on the south slope. Three brick chimneys are set on the roof ridge.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g., a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 242 Wilson Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with
early twentieth century Craftsman detailing. It received an addition in 1926. This type of modest house quickly permeated the Broadway-
Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to
the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the
Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to
build and might rent for \$9 or \$10 per month.



PHOTOGRAPH: (Broadway-Fillmore R-5; N-32)



George E. Pataki, Governor Bernadette Castro, Commissioner

Telephone: (716) 852 -2020 ext.

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

IDENTIFICAT	ION			
Property name (in	f any)			
Address or Stree	t Location 314 Wilson Stre			
County Erie	Town	/City Buffalo	Village/Hamlet:	
Owner		Address		
Original use Res	sidence: multiple-family	Current use Re	esidence: multiple-family	
Architect/Builder,	, if known		Date of construction, if known	1895
DESCRIPTION				
Materials – pleas	se check those materials that	are visible		
Exterior Walls:	wood clapboard	wood shingle	vertical boards	plywood
	stone	☐ brick	poured concrete	☐ concrete block
	vinyl siding	☐ aluminum siding	cement-asbestos	other
Roof:	asphalt, shingle	asphalt, roll	□ wood shingle	☐ metal ☐ slate
Foundation:	stone	☐ brick	poured concrete	☐ concrete block
Other materials a	and their location:			
Alterations, if kno	own: Replacement windows			Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
	structures, this includes exter			ould represent the property as a whole scape features. Color prints are
	e photograph providing a co parate envelope or stapled t		property to the front of this sh	eet. Additional views should be
			erty in relationship to streets, ir rrow. Include a scale or estima	ntersections or other widely recognized ate distances where possible.
Study: City of B	uffalo Intensive Level Histori	c Resources Survey: Broadw	ay-Fillmore Neighborhood	
Prepared by: Cli	inton Brown Company Archit	ecture, pc Addr	ess: 2100 Rand Building, 14 L	afayette Sq., Buffalo NY 14203

(See following pages)

Email: cbca@buffnet.net

Date: 03/2004

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

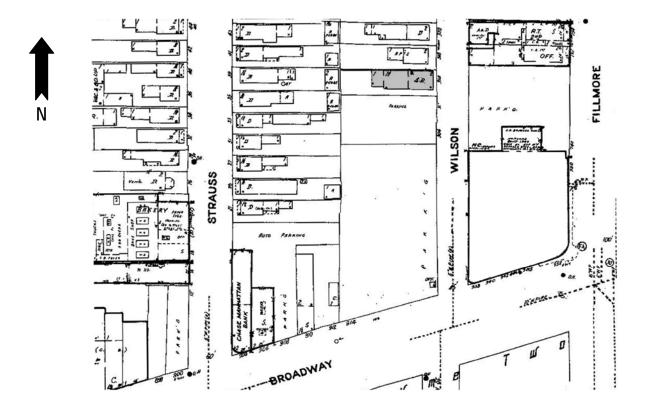
The multiple-family house at 314 Wilson Street is located on the west side of the street, north of Paderewski Drive. Wilson Street is a six-block long, north-south residential street spanning from William Street to Genesee Street. Most of the smaller, north-south streets in the area between Best Street on the north and William Street on the south were laid out as in parallel rows beginning in the 1870s, when residential development of the area commenced. The property is located in the southwestern section of the Broadway-Fillmore neighborhood.

A two-story, front-gabled, extended workers' cottage with Eastlake window and door surrounds. It has a rectangular plan and no foundation. Paired entrance doors are located in the north bay. Exterior fabric is clapboard. Fenestration is one-over-one and two-over-two double-hung wood sash. Eastlake molding accents the gable end. Two gabled, one-story additions extend west from the west end of the main block. A small shed dormer is attached to the end of the rear addition. A brick chimney rests on the center ridge of the main block and the smaller gable addition has a brick chimney on the roof ridge.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g., a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

was built for John Maunszewski, and converted into a six-family tenement in 1938. This type of house quickly permeated the Broadway Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to
the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the
Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) - Plate 254



PHOTOGRAPH: (Broadway-Fillmore R-5; N-33)



RESERVANDA OF RE

Telephone: (716) 852 –2020 ext.

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

IDENTIFICAT	ΓΙΟΝ			
Property name (if any)			
Address or Stree	et Location 422 Wilson Str	eet		
County Erie	Tow	n/City <u>Buffalo</u>	Village/Hamlet:	
Owner		Address		
Original use Re	sidence: multiple-family	Current use Re	esidence: single-family	
Architect/Builder	r, if known		Date of construction, if known	ca. 1890
DESCRIPTION				
Materials – pleas	se check those materials tha	at are visible		
Exterior Walls:	wood clapboard	wood shingle	vertical boards	plywood
	stone	☐ brick	poured concrete	☐ concrete block
	vinyl siding	aluminum siding	cement-asbestos	other
Roof:	asphalt, shingle	□ asphalt, roll	wood shingle	metal slate
Foundation:	stone	☐ brick	poured concrete	☐ concrete block
Other materials	and their location:			
Alterations, if kn	own: Replacement window	'S		Date:
Condition:	excellent	⊠ good	fair	deteriorated
For buildings or				ould represent the property as a whole scape features. Color prints are
	ne photograph providing a co eparate envelope or stapled		r property to the front of this sh	neet. Additional views should be
		icating the location of the properly positioned. Show a north a		ntersections or other widely recognized ate distances where possible.
Study: City of E	Buffalo Intensive Level Histo	ric Resources Survey: Broadw	ay-Fillmore Neighborhood	
Prepared by: C	linton Brown Company Arch	itecture, pc Addr	ess: 2100 Rand Building, 14 L	_afayette Sq., Buffalo NY 14203

(See following pages)

Email: cbca@buffnet.net

Date: 03/2004

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

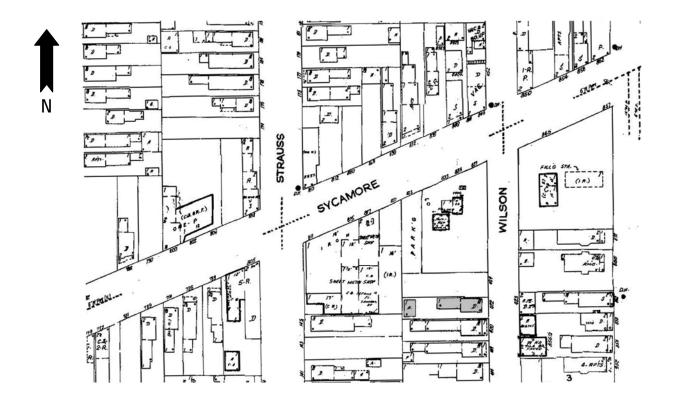
Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at **422 Wilson Street** is located on the west side of the street, just south of Sycamore Street. Wilson Street is a sixblock long, north-south residential street spanning from William Street to Genesee Street. Most of the smaller, north-south streets in the area between Best Street on the north and William Street on the south were laid out as in parallel rows beginning in the 1870s, when residential development of the area commenced. The property is located in the western central section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has an entry door with a modern entry porch in the north bay and a triple window grouping in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one and two-over-two double-hung wood sash. Eastlake molding accents the gable end. Extending west from the west end of the main block is a one-story, gabled-roof addition with shed dormer, and a brick chimney on the center ridge. A brick chimney rests on the center ridge of the main block

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g., a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to
builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.



PHOTOGRAPH: (Broadway-Fillmore R-5; N-36)



RESERVATION - HISTORY OF THE SHAWARD OF THE SHAWARD

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

IDENTIFICATION	<u>ON</u>			
Property name (if a	any)			
Address or Street I	Location 496 Wilson Street			
County Erie	Town/Cit	y Buffalo	Village/Hamlet:	
Owner		Address		
Original use Resid	dence: single-family	Current use Re	sidence: single-family	
Architect/Builder, if	f known		oate of construction, if knownc	ca. 1880
<u>DESCRIPTION</u>				
Materials – please	check those materials that are	e visible		
Exterior Walls:	wood clapboard	wood shingle	vertical boards	plywood
	stone	☐ brick	poured concrete	☐ concrete block
	vinyl siding	aluminum siding	cement-asbestos	other other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	☐ brick	poured concrete	□ concrete block □
Other materials an	d their location:			
Alterations, if know	n: front addition			Date:1885
Condition:	excellent	⊠ good	fair	deteriorated
	ructures, this includes exterior		nination. Submitted views shoul setting, outbuildings and landsc	ld represent the property as a whole ape features. Color prints are
	photograph providing a compl arate envelope or stapled to a		property to the front of this shee	t. Additional views should be
			rty in relationship to streets, inte row. Include a scale or estimate	rsections or other widely recognized edistances where possible.
Study: City of Buf	ffalo Intensive Level Historic R	esources Survey: Broadwa	ay-Fillmore Neighborhood	
Prepared by: Clini	ton Brown Company Architect	ure, pc Addre	ess: 2100 Rand Building, 14 Laf	ayette Sq., Buffalo NY 14203
Telephone: (716)	852 –2020 ext.	Er	mail: cbca@buffnet.net	Date: 03/2004

(See following pages)

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

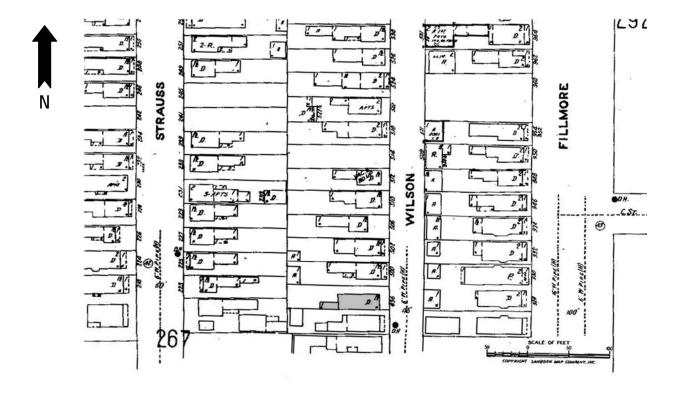
Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at **496 Wilson Street** is located on the west side of the street, north of Sycamore Street. Wilson Street is a six-block long, north-south residential street spanning from William Street to Genesee Street. Most of the smaller, north-south streets in the area between Best Street on the north and William Street on the south were laid out as in parallel rows beginning in the 1870s, when residential development of the area commenced. The property is located in the western central section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, extended workers' cottage. It has a rectangular plan and is set on a rusticated concrete block foundation. The façade has an full-width Craftsman porch with a rusticated concrete block foundation and pedestals, square piers, replacement wooden rail, and hipped roof. The entry door is set in the south bay and a triple window grouping is located in the north bay. Exterior wall fabric is clapboard. Fenestration is one-over-one and two-over-two double-hung wood sash. Eastlake molding accents the gable end. Extending west from the west end of the main block is a one-story, gabled-roof addition with shed dormer, and a brick chimney on the center ridge. A brick chimney rests on the center ridge of the main block

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 496 Wilson Street is significant as a good representative example of a late nineteenth century, extended workers' cottage.
The front section was added by W. Fred Barth in 1885. This type of modest house quickly permeated the Broadway-Fillmore neighborhood,
as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore
area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area
would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for
\$9 or \$10 per month.
·



PHOTOGRAPH: (Broadway-Fillmore R-5; N-37)



RESERVANDA O NEW YORK STATE Servadette Castro, Commissioner

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

IDENTIFICATI	<u>ON</u>			
Property name (if	any)			
Address or Street	Location 522 Wilson Stree			
County Erie	Town/	City <u>Buffalo</u>	Village/Hamlet:	
Owner		Address		
Original use Resi	dence: single-family	Current use _I	Residence: single-family	
Architect/Builder,	if known		Date of construction, if known	1888
DESCRIPTION				
Materials - please	e check those materials that	are visible		
Exterior Walls:	wood clapboard	wood shingle	vertical boards	plywood
	stone	☐ brick	poured concrete	☐ concrete block
	☐ vinyl siding	aluminum siding	cement-asbestos	other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	☐ brick	poured concrete	☐ concrete block
Other materials ar	nd their location:			_
Alterations, if know				Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
	tructures, this includes exteri			ould represent the property as a whole scape features. Color prints are
	e photograph providing a con parate envelope or stapled to		or property to the front of this sh	eet. Additional views should be
			perty in relationship to streets, ir arrow. Include a scale or estima	ntersections or other widely recognized ate distances where possible.
Study: City of Bu	uffalo Intensive Level Historic	Resources Survey: Broad	lway-Fillmore Neighborhood	
Prepared by: Clir	nton Brown Company Archite	ecture, pc Ado	dress: 2100 Rand Building, 14 L	afayette Sq., Buffalo NY 14203
Telephone: (716) 852 –2020 ext.		Email: cbca@buffnet.net	Date : 03/2004

(See following pages)

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

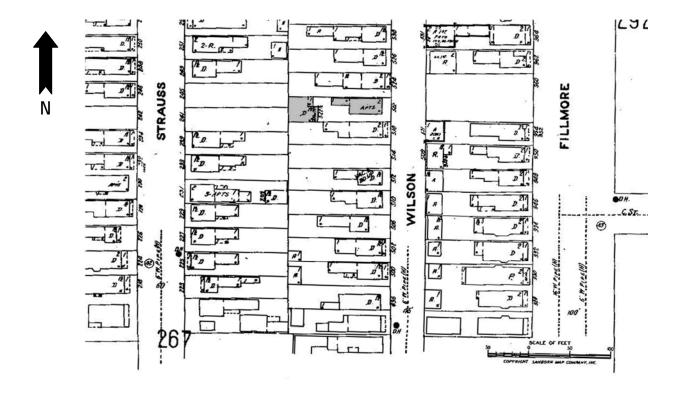
The single-family house at **522 Wilson Street** is located on the west side of the street, north of Sycamore Street. Wilson Street is a six-block long, north-south residential street spanning from William Street to Genesee Street. Most of the smaller, north-south streets in the area between Best Street on the north and William Street on the south were laid out as in parallel rows beginning in the 1870s, when residential development of the area commenced. The property is located in the western central section of the Broadway-Fillmore neighborhood.

A two-story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade features symmetrical fenestration with a door opening in the north bay. It has doubled-leaf, paneled doors. The windows have two-over-two, double-hung wood sash. Exterior wall fabric is clapboard. A rectangular bay is located on the south elevation. Two brick chimneys rest on the roof center ridge.

A detached, one-and-one-half story dwelling stands at the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 522 Wilson Street is significant as a good representative example a late nineteenth century, extended workers' cottage. It was built for Demeter Hartung. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.



PHOTOGRAPH: (Broadway-Fillmore R-6; N-1)



George E. Pataki, Governor Bernadette Castro, Commissioner

Telephone: (716) 852 -2020 ext.

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY	
USN:		

IDENTIFICATION	<u>ON</u>				
Property name (if a	any)				
Address or Street	Location 526 Wilson Street				
County Erie	Town/Cit	y <u>Buffalo</u>	Village/Hamlet:		
Owner		Address			
Original use Resid	dence: multiple-family	Current use Resid	lence: single-family		
Architect/Builder, in	f known	Dat	e of construction, if known <u>ca</u>	a. 1890	
DESCRIPTION					
Materials – please	check those materials that are	e visible			
Exterior Walls:	wood clapboard	wood shingle	vertical boards	plywood	
	stone	☐ brick	poured concrete	concrete block	
	vinyl siding	aluminum siding	cement-asbestos	other	
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate	
Foundation:	stone	brick	poured concrete	☐ concrete block	
Other materials an	nd their location:				
Alterations, if know	vn: Replacement windows			Date:	
Condition:	excellent	⊠ good	☐ fair	deteriorated	
Photos Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.					
Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.					
	r drawn locational map indicati e property can be accurately p			rsections or other widely recognized distances where possible.	
Study: City of But	ffalo Intensive Level Historic R	esources Survey: Broadway-	Fillmore Neighborhood		
Prepared by: Clin	ton Brown Company Architect	ure, pc Address	s: 2100 Rand Building, 14 Lafa	yette Sq., Buffalo NY 14203	

(See following pages)

Email: cbca@buffnet.net

Date: 03/2004

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

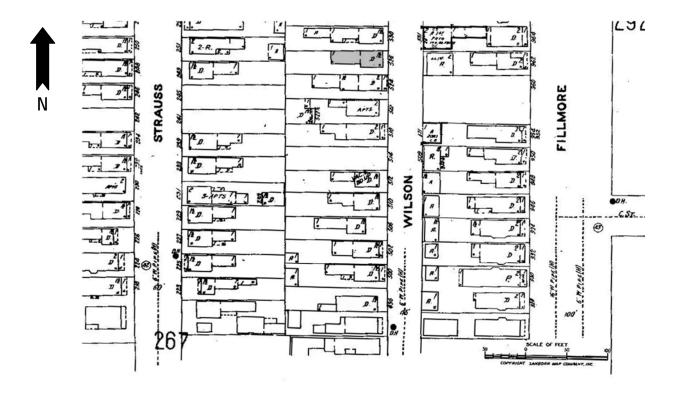
Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at **526 Wilson Street** is located on the west side of the street, north of Sycamore Street. Wilson Street is a six-block long, north-south residential street spanning from William Street to Genesee Street. Most of the smaller, north-south streets in the area between Best Street on the north and William Street on the south were laid out as in parallel rows beginning in the 1870s, when residential development of the area commenced. The property is located in the western central section of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the north.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade features an entrance door in the north bay and a triple window grouping in the south bay. Fenestration is one-over-one, double-hung wood sash. Exterior wall fabric is clapboard. Two, one-story additions extend west from the west end of the main block. A brick chimney is located on the center ridge of the main block and the rear ridge of the first addition.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

This type of modest hous accommodate the rapid commercial buildings, the	son Street is significant as a g se quickly permeated the Broa influx of immigrants, largely e vast majority of the housing ail. In 1891 a house of this sor	dway-Fillmore neighborhood, Polish, to the Broadway-Fil stock in the Broadway-Fillmo	, as it could be constructed Ilmore area. Unlike the ore area would have been	ed inexpensively and quickly to neighborhood's religious and n erected to plans available to



PHOTOGRAPH: (Broadway-Fillmore R-6; N-2)



RESERVANDA OF RE

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

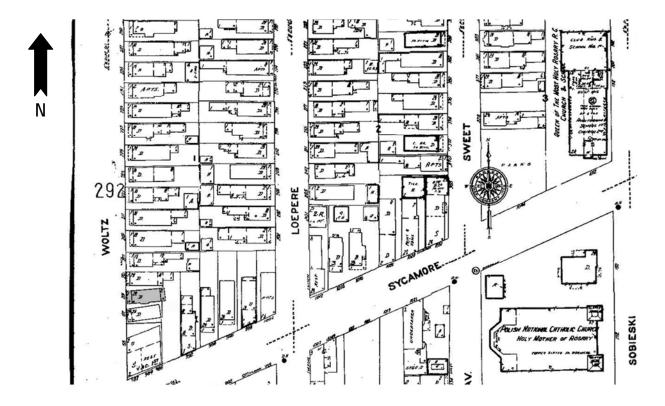
	OFFICE USE ONLY
USN:	

IDENTIFICATI	<u>ION</u>			
Property name (if	any)			
Address or Street	Location 201 Woltz Street			
County Erie	Town/	City <u>Buffalo</u>	Village/Hamlet:	
Owner		Address		
Original use Resi	dence: multiple-family	Current use F	Residence: multiple-family	
Architect/Builder,	if known		Date of construction, if known	ca. 1895
DESCRIPTION				
Materials – please	e check those materials that	are visible		
Exterior Walls:	wood clapboard	wood shingle	vertical boards	plywood
	stone	☐ brick	poured concrete	☐ concrete block
	☐ vinyl siding	aluminum siding	cement-asbestos	other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	⊠ brick	poured concrete	☐ concrete block
Other materials a	nd their location:			
Alterations, if know				Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
	tructures, this includes exteri			ould represent the property as a whole scape features. Color prints are
	e photograph providing a con parate envelope or stapled to		or property to the front of this sh	eet. Additional views should be
			perty in relationship to streets, in arrow. Include a scale or estima	ntersections or other widely recognized ate distances where possible.
Study: City of Bu	uffalo Intensive Level Historia	Resources Survey: Broad	way-Fillmore Neighborhood	
Prepared by: Clir	nton Brown Company Archite	ecture, pc Add	ress: 2100 Rand Building, 14 L	afayette Sq., Buffalo NY 14203
Telephone: (716) 852 –2020 ext.		Email: cbca@buffnet.net	Date: 03/2004

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The multiple-family house at 201 Woltz Street is located on the east side of the street, just north of Sycamore Street. Woltz Street is a three-block long, residential, north-south street that extends from Broadway to Walden Avenue. The property is located in the northwest corner of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the south. A vacant lot borders the property to the north.
A two-story, hipped-roof, frame building with a Craftsman porch. It has a rectangular plan and is set on a brick foundation. The façade has a full-width porch with square columns, solid paneled rail, and hipped roof. Entrance doors are located in the end bays of the façade. Fenestration is one-over-one double-hung wood sash. Exterior fabric is clapboard. A polygonal bay is located on the south elevation. A gabled-dormer with a paired window grouping rests on the front slope. A two-story addition with shed roof is attached to the east end of the main block.
Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.
The building at 201 Woltz Street is significant as a good representative example of a two-story late nineteenth century workers' cottage with Craftsman details. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.



PHOTOGRAPH: (Broadway-Fillmore R-7; N-31)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY	
USN:		

IDENTIFICATION

Property name (i	if any)			
Address or Stree	et Location 228 Woltz Stree	et		
County Erie	Towr	n/City Buffalo	Village/Hamlet:	
Owner		Address		
Original use Res	sidence: multiple-family	Current use V	acant	
Architect/Builder	, if known		Date of construction, if known	ca. 1885
DESCRIPTION				
Materials - pleas	se check those materials tha	t are visible		
Exterior Walls:	wood clapboard	wood shingle	vertical boards	plywood
	stone	☐ brick	poured concrete	☐ concrete block
	vinyl siding	aluminum siding	cement-asbestos	other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	☐ brick	poured concrete	concrete block
Other materials a	and their location:			
Alterations, if known	own: Replacement windows	S		Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
For buildings or s				ould represent the property as a whole. scape features. Color prints are
	ne photograph providing a co eparate envelope or stapled	•	r property to the front of this sh	eet. Additional views should be
			erty in relationship to streets, ir arrow. Include a scale or estima	ntersections or other widely recognized ate distances where possible.
Study: City of B	Buffalo Intensive Level Histor	ic Resources Survey: Broadv	vay-Fillmore Neighborhood	
Prepared by: Cl	linton Brown Company Archi	tecture, pc Add	ress: 2100 Rand Building, 14 L	afayette Sq., Buffalo NY 14203
Telephone: (71	6) 852 –2020 ext.	E	Email: cbca@buffnet.net	Date: 03/2004

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

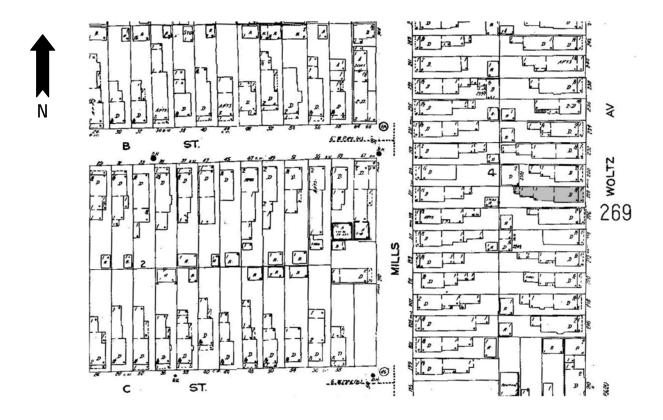
Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The building at 228 Woltz Street is located on the west side of the street, just north of Sycamore Street. Woltz Street is a three-block long,

residential, north-south street that extends from Broadway to Walden Avenue. The property is located in the northwest corner of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the north.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with paneled square columns, a replacement open wooden rail, and a gabled roof. Window and door openings in the façade have Eastlake surrounds. The entrance door is located in the north bay. Eastlake molding accents the gable end. Exterior wall fabric is clapboard. All of the window openings are boarded. Extending west from the west end of the main block are two one-story, gabled-roof additions. A brick chimney rests on the center ridge of the main block and rear additions. The north slope of the first rear addition has a gabled dormer.

The building at 228 Woltz Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with
Eastlake details with a later Craftsman porch. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could
be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area
Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would
have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or
\$10 per month.



PHOTOGRAPH: (Broadway-Fillmore R-7; N-30)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

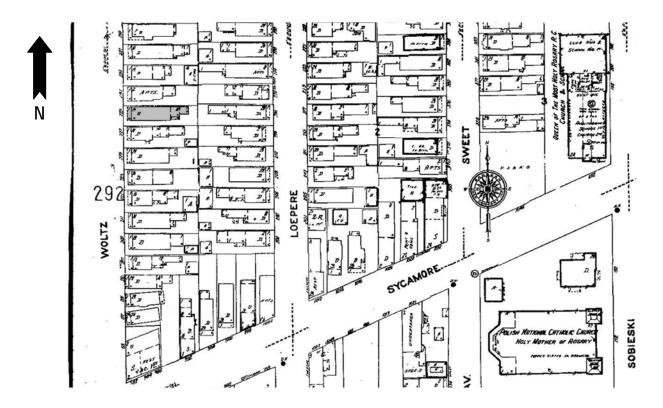
IDENTIFICATION

Property name (if any)			
Address or Stree	et Location 231 Woltz Stree	et		
County Erie	Towr	n/City Buffalo	Village/Hamlet:	
Owner		Address		
Original use Re	sidence: multiple-family	Current use R	esidence: multiple-family	
Architect/Builder	, if known		Date of construction, if known	ca. 1905
DESCRIPTION				
Materials - pleas	se check those materials tha	t are visible		
Exterior Walls:	wood clapboard	wood shingle	vertical boards	plywood
	stone	☐ brick	poured concrete	concrete block
	vinyl siding	aluminum siding	cement-asbestos	other
Roof:	asphalt, shingle	asphalt, roll		metal slate
Foundation:	stone	brick	poured concrete	oncrete block
Other materials a	and their location:			
Alterations, if known	own:			Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
For buildings or				ould represent the property as a whole. scape features. Color prints are
•	ne photograph providing a co eparate envelope or stapled	•	r property to the front of this sh	eet. Additional views should be
			erty in relationship to streets, ir rrow. Include a scale or estima	ntersections or other widely recognized ate distances where possible.
Study: City of B	Buffalo Intensive Level Histor	ic Resources Survey: Broadw	ay-Fillmore Neighborhood	
Prepared by: Cl	linton Brown Company Archi	tecture, pc Addr	ess: 2100 Rand Building, 14 L	Lafayette Sq., Buffalo NY 14203
Telephone: (71	6) 852 –2020 ext.	E	mail: cbca@buffnet.net	Date: 03/2004

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The building at 231 Woltz Street is significant as a good representative example of an early twentieth century workers' cottage with Craftsman details. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and
quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to
builders in books or by mail.



PHOTOGRAPH: (Broadway-Fillmore R-7; N-29)



RESERVANDA O NEW YORK STATE Servadette Castro, Commissioner

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY	
USN:		

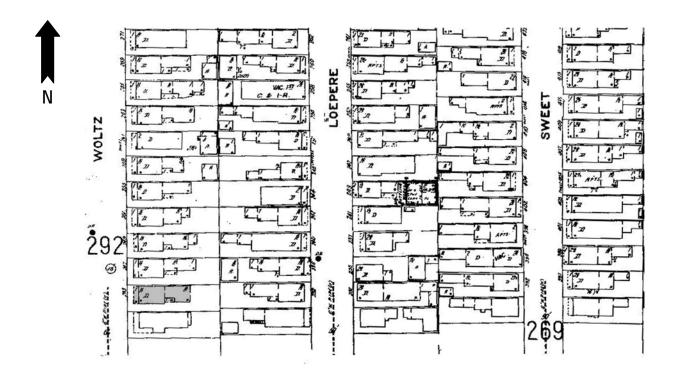
IDENTIFICAT	ION			
Property name (if	f any)			
Address or Stree	t Location 243 Woltz Stree	t		
County Erie	Town	/City <u>Buffalo</u>	Village/Hamlet:	
Owner		Address		
Original use Res	sidence: multiple-family	Current use Re	esidence: multiple-family	
Architect/Builder,	if known		Date of construction, if known	ca. 1890
DESCRIPTION				
Materials – pleas	e check those materials that	are visible		
Exterior Walls:			vertical boards	plywood
	stone	☐ brick	poured concrete	concrete block
	vinyl siding	aluminum siding	cement-asbestos	other
Roof:	□ asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	☐ brick	poured concrete	☐ concrete block
Other materials a	and their location:			
Alterations, if kno				Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
	structures, this includes exter			ould represent the property as a whole Iscape features. Color prints are
	e photograph providing a cor parate envelope or stapled to		property to the front of this sh	neet. Additional views should be
				ntersections or other widely recognized ate distances where possible.
Study: City of B	uffalo Intensive Level Histori	c Resources Survey: Broadw	ay-Fillmore Neighborhood	
Prepared by: Cli	nton Brown Company Archit	ecture, pc Addr	ess: 2100 Rand Building, 14 L	Lafayette Sq., Buffalo NY 14203
Telephone: (716	6) 852 –2020 ext.	E	mail: cbca@buffnet.net	Date: 03/2004

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

block long, residential, north-south street that extends from Broadway to Walden Avenue. The property is located in the northwest corner of the Broadway-Fillmore neighborhood. Vacant lots border the property to the north and south.
A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with wood-shingled base, paneled square columns, open wooden rail, and gabled-roof. A vestibule is located in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. Extending east from the east end of the main block is a one-story, gabled-roof addition with entrance on the south elevation. A brick chimney rests on the ridge of the rear addition.

The building at 243 Woltz Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with
early twentieth century Craftsman detailing. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be
constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike
the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been
erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per
month.



PHOTOGRAPH: (Broadway-Fillmore R-7; N-28)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

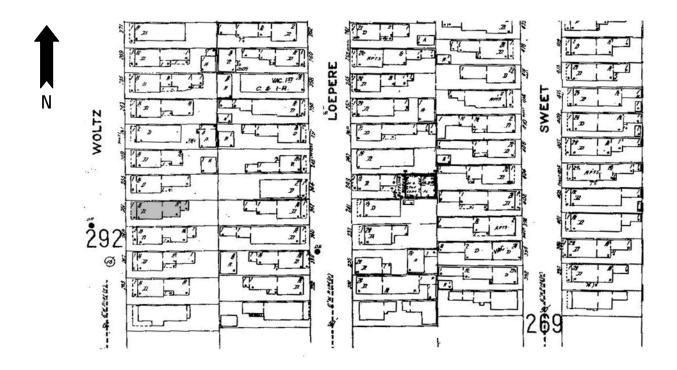
IDENTIFICAT	<u>ION</u>			
Property name (in	f any)			
Address or Stree	t Location 251 Woltz Stree	t		
County Erie	Town	/City <u>Buffalo</u>	Village/Hamlet:	
Owner		Address		
Original use Res	sidence: multiple-family	Current use R	esidence: single-family	
Architect/Builder,	, if known		Date of construction, if known	ca. 1890
<u>DESCRIPTION</u>				
Materials - pleas	se check those materials that	are visible		
Exterior Walls:	wood clapboard		vertical boards	plywood
	stone	☐ brick	poured concrete	☐ concrete block
	vinyl siding	aluminum siding	cement-asbestos	other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	☐ brick	poured concrete	concrete block
Other materials a	and their location:			
Alterations, if kno	own:			Date:
Condition:	excellent	⊠ good	fair	deteriorated
	structures, this includes exter			ould represent the property as a whole scape features. Color prints are
	e photograph providing a cor parate envelope or stapled t		r property to the front of this sh	eet. Additional views should be
			erty in relationship to streets, in arrow. Include a scale or estima	ntersections or other widely recognized ate distances where possible.
Study: City of B	uffalo Intensive Level Histori	c Resources Survey: Broadv	vay-Fillmore Neighborhood	
Prepared by: Cli	inton Brown Company Archit	ecture, pc Add	ress: 2100 Rand Building, 14 L	Lafayette Sq., Buffalo NY 14203
Telephone: (71	6) 852 –2020 ext.	i i	Email: cbca@buffnet.net	Date: 03/2004

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 251 Woltz Street is located on the east side of the street, north of Sycamore Street. Woltz Street is a three-block long, residential, north-south street that extends from Broadway to Walden Avenue. The property is located in the northwest corner of the Broadway-Fillmore neighborhood.
A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with wood-shingled base, paneled square columns, open wooden rail, and gabled-roof. The entrance door is located in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. Extending east from the east end of the main block is a one-story, gabled-roof addition with entrance on the south elevation. A brick chimney rests on the center ridge of the main block.

The building at 251 Woltz Street is significant as a good representative example of as late nineteenth century, extended workers' cottage
with early twentieth century Craftsman detailing. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it
could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area.
Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would
have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or
\$10 per month.



PHOTOGRAPH: (Broadway-Fillmore R-7; N-27)



RESERVANDA OF RE

Telephone: (716) 852 -2020 ext.

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

IDENTIFICATI	<u>ON</u>			
Property name (if	any)			
Address or Street	Location 261 Woltz Street			
County Erie	Town/C	ity <u>Buffalo</u>	Village/Hamlet:	
Owner		Address		
Original use Resi	dence: single-family	Current use Resid	dence: single-family	
Architect/Builder,	if known	Da	te of construction, if known <u>c</u>	a. 1920
<u>DESCRIPTION</u>				
Materials – please	e check those materials that ar	re visible		
Exterior Walls:	wood clapboard	wood shingle	vertical boards	plywood
	stone	☐ brick	poured concrete	concrete block
	☐ vinyl siding	aluminum siding	cement-asbestos	other other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	☐ brick	poured concrete	
Other materials ar	nd their location:			
Alterations, if know	wn: Replacement windows			Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
	ructures, this includes exterior			ld represent the property as a whole. ape features. Color prints are
	photograph providing a comporate envelope or stapled to a		roperty to the front of this shee	et. Additional views should be
	r drawn locational map indicat ne property can be accurately p			ersections or other widely recognized e distances where possible.
Study: City of Bu	nffalo Intensive Level Historic F	Resources Survey: Broadway	-Fillmore Neighborhood	
Prepared by: Clir	nton Brown Company Architec	ture, pc Addres	s: 2100 Rand Building, 14 Laf	ayette Sq., Buffalo NY 14203

(See following pages)

Email: cbca@buffnet.net

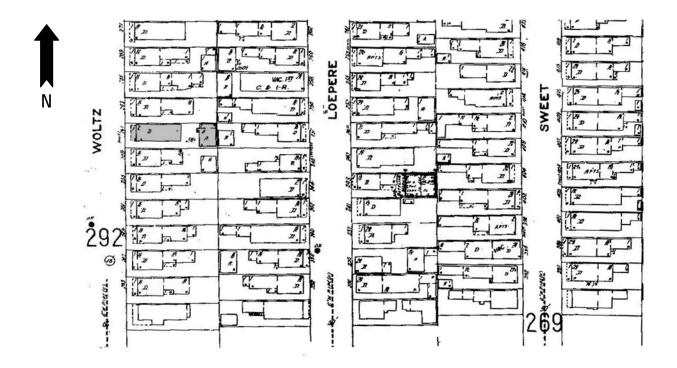
Date: 03/2004

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

Broadway-Fillmore neighborhood.
A one-and-one-half story, frame, Craftsman workers' cottage with a clipped-gable roof. It has a rectangular plan and is set on a rusticate concrete block foundation. The façade has a full-width Craftsman porch with rusticated concrete block foundation, battered square column open wooden rail, and hipped roof. An entry door with ¾ sidelights is located in the north bay and a triple window grouping is set in the soul bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. The gable end features cornice returns are brackets below the clipped gable. The north and south slopes have hipped dormers. A side entrance with bracketed canopy is located on the south elevation. A brick chimney rests on the rear ridge.

This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.



PHOTOGRAPH: (Broadway-Fillmore R-7; N-26)



RESERVANDA ONEW YORK STATE & George E. Pataki, Governor Bernadette Castro, Commissioner

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HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

IDENTIFICATION	<u>ON</u>			
Property name (if	any)			
Address or Street	Location 264 Woltz Street			
County Erie	Town/C	ity <u>Buffalo</u>	Village/Hamlet: _	
Owner		Address		
Original use Resid	dence: multiple-family	Current use Res	idence: multiple-family	
Architect/Builder, i	f known	Da	ate of construction, if known_	ca. 1890
<u>DESCRIPTION</u>				
Materials - please	check those materials that a	re visible		
Exterior Walls:	wood clapboard	wood shingle	vertical boards	plywood
	stone	☐ brick	poured concrete	concrete block
	vinyl siding	aluminum siding	cement-asbestos	other other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	☐ brick	poured concrete	☐ concrete block
Other materials an	nd their location:			
Alterations, if know	vn: Replacement windows a	nd door frame (1950), dorme	r (19 55)	Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
	ructures, this includes exterio			uld represent the property as a whole. cape features. Color prints are
	photograph providing a comparate envelope or stapled to a		property to the front of this she	eet. Additional views should be
			ty in relationship to streets, in ow. Include a scale or estima	tersections or other widely recognized te distances where possible.
Study: City of But	ffalo Intensive Level Historic I	Resources Survey: Broadwa	y-Fillmore Neighborhood	
Prepared by: Clin	ton Brown Company Architec	ture, pc Addres	ss: 2100 Rand Building, 14 La	afayette Sq., Buffalo NY 14203

(See following pages)

Email: cbca@buffnet.net

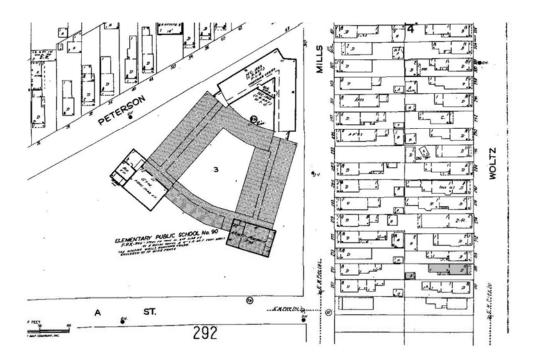
Date: 03/2004

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The multiple-family house at 264 Woltz Street is located on the west side of the street, north of Sycamore Street. Woltz Street is a three-block long, residential, north-south street that extends from Broadway to Walden Avenue. The property is located in the northwest corner of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the south.
A one-and-one-half story, frame, front-gabled, extended workers' cottage. It has a rectangular plan and no foundation. The façade has a full-width Craftsman porch with paneled square columns, replacement metal rail, pediment above entry bay, and hipped roof. An entry door with 34 sidelights is located in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. A shed dormer rests on the south slope. A side entrance is located on the south elevation. A smal addition is attached to the west end of the main block. Two brick chimneys rest on the roof ridge.

The building at 264 Woltz Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with
early twentieth century Craftsman detailing. This house received new windows and front door frame in 1950, and a dormer in 1955. This type
of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to
accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and
commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to
builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.



PHOTOGRAPH: (Broadway-Fillmore R-7; N-25)



George E. Pataki, Governor Bernadette Castro, Commissioner

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

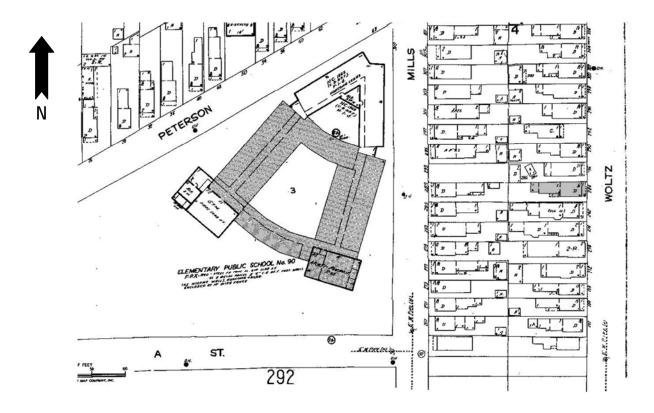
IDENTIFICAT	ION				
Property name (i	f any)				
Address or Stree	t Location 284 Woltz Stree				
County Erie Town/City Buffalo		/City <u>Buffalo</u>	Village/Hamlet: _		
Owner		Address			
Original use Res	sidence: multiple-family	Current use	Residence: multiple-family		
Architect/Builder,	if known		Date of construction, if known ca. 1890		
<u>DESCRIPTION</u>					
Materials – pleas	e check those materials that	are visible			
Exterior Walls:		wood shingle	vertical boards	plywood	
	stone	☐ brick	poured concrete	concrete block	
	vinyl siding	aluminum siding	cement-asbestos	other	
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate	
Foundation:	stone	☐ brick	poured concrete	concrete block	
Other materials a	and their location:				
Alterations, if kno	own: Replacement windows	, kitchen addition (1895)		Date:	
Condition:	excellent	⊠ good	fair	deteriorated	
	structures, this includes exter		nomination. Submitted views sho eral setting, outbuildings and lands	ould represent the property as a whole scape features. Color prints are	
	e photograph providing a cor parate envelope or stapled to		e or property to the front of this she	eet. Additional views should be	
			roperty in relationship to streets, in h arrow. Include a scale or estima	tersections or other widely recognized attended to the distances where possible.	
Study: City of B	uffalo Intensive Level Histori	c Resources Survey: Broa	adway-Fillmore Neighborhood		
Prepared by: Cli	inton Brown Company Archit	ecture, pc A	ddress: 2100 Rand Building, 14 La	afayette Sq., Buffalo NY 14203	
Telephone: (71	6) 852 –2020 ext.		Email: cbca@buffnet.net	Date: 03/2004	

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The multiple-family house at 284 Woltz Street is located on the west side of the street, north of Sycamore Street. Woltz Street is a three-block long, residential, north-south street that extends from Broadway to Walden Avenue. The property is located in the northwest corner of the Broadway-Fillmore neighborhood.
A one-and-one-half story, frame, front-gabled, workers' cottage. It has a rectangular plan and no foundation. The façade has a full-width Craftsman porch with square paneled columns, open wooden rail, pediment above entry bay, and hipped roof. An entry door is located in the north bay and a triple window grouping with headers is set in the south bay. Exterior wall fabric is clapboard. Fenestration is six- and one-over-one, double-hung wood sash. A one-story, gabled-roof addition with entrance on the south elevation extends west from the west end of the main block.

The building at 284 Woltz Street is significant as a good representative example of a late nineteenth century, workers' cottage with early
twentieth century Craftsman detailing. This house received a kitchen addition in 1895. This type of modest house quickly permeated the
Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely
Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in
the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885
to build and might rent for \$9 or \$10 per month.



PHOTOGRAPH: (Broadway-Fillmore R-7; N-24)



RESERVANDA OF RE

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

IDENTIFICATION		
Property name (if any) _		

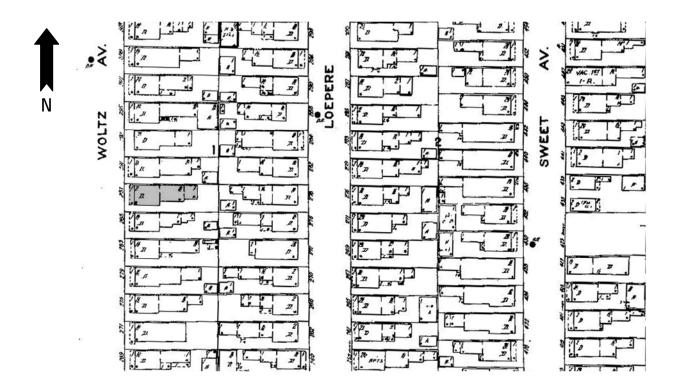
Address or Stree	et Location 28/ Woltz Stree	t		
County Erie Town		n/City Buffalo	Village/Hamlet:	
Owner		Address		
Original use Res	sidence: single-family	Current use	Residence: single-family	
Architect/Builder,	, if known		Date of construction, if known	1893
<u>DESCRIPTION</u>				
Materials - pleas	se check those materials that	t are visible		
Exterior Walls:	wood clapboard	wood shingle	vertical boards	plywood
	stone	☐ brick	poured concrete	concrete block
	vinyl siding	aluminum siding	cement-asbestos	other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	☐ metal ☐ slate
Foundation:	stone	brick	poured concrete	☐ concrete block
Other materials a	and their location:			
Alterations, if kno	own: Replacement windows			Date:
Condition:	excellent	⊠ good	fair	deteriorated
	structures, this includes exte			ould represent the property as a whole scape features. Color prints are
	e photograph providing a co eparate envelope or stapled t		or property to the front of this sh	eet. Additional views should be
			perty in relationship to streets, ir arrow. Include a scale or estim	ntersections or other widely recognize ate distances where possible.
Study: City of B	uffalo Intensive Level Histor	ic Resources Survey: Broad	dway-Fillmore Neighborhood	_
Prepared by: Cli	inton Brown Company Archi	tecture, pc Add	dress: 2100 Rand Building, 14 L	afayette Sq., Buffalo NY 14203
Telephone: (71	6) 852 –2020 ext.		Email: cbca@buffnet.net	Date: 03/2004

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 287 Woltz Street is located on the east side of the street, north of Sycamore Street. Woltz Street is a three-block long, residential, north-south street that extends from Broadway to Walden Avenue. The property is located in the northwest corner of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the north.
A one-and-one-half story, frame, front-gabled, workers' cottage. It has a rectangular plan and no foundation. The façade has a full-width Craftsman porch with wood-shingled foundation and pedestals, square piers, open wooden rail, and hipped roof. An entry door is located in the north bay and a triple window grouping with headers is set in the south bay. Exterior wall fabric is clapboard. Fenestration is three-overone, double-hung wood sash. Eastlake molding accents the gable end. Shed dormers rest on the north and south slopes. The east elevation has an open porch. A brick chimney rests on the center ridge.

The building at 287 Woltz Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with
early twentieth century Craftsman detailing. It was built for Joseph Brachmann. This type of modest house quickly permeated the Broadway-
Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to
the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the
Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to
build and might rent for \$9 or \$10 per month.



PHOTOGRAPH: (Broadway-Fillmore R-7; N-23)



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HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

IDENTIFICATION	<u>NC</u>			
Property name (if a	any)			
Address or Street I	Location 329 Woltz Street			
County Erie	Town/Cit	y <u>Buffalo</u>	Village/Hamlet:	
Owner		Address		_
Original use Resid	lence: multiple-family	Current use Resid	lence: multiple-family	
Architect/Builder, if	known	Dat	e of construction, if known 19	907
DESCRIPTION				
Materials – please	check those materials that are	e visible		
Exterior Walls:			vertical boards	plywood
	stone	☐ brick	poured concrete	☐ concrete block
	vinyl siding	aluminum siding	cement-asbestos	other other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	brick	poured concrete	☐ concrete block
Other materials and	d their location:			
Alterations, if know	/n:			Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
	uctures, this includes exterior			d represent the property as a whole ape features. Color prints are
	photograph providing a complarate envelope or stapled to a		operty to the front of this shee	t. Additional views should be
	drawn locational map indicatir e property can be accurately p			rsections or other widely recognized distances where possible.
Study: City of Buf	falo Intensive Level Historic R	esources Survey: Broadway-	Fillmore Neighborhood	
Prepared by: Clint	ton Brown Company Architecto	ure, pc Address	s: 2100 Rand Building, 14 Lafa	ayette Sq., Buffalo NY 14203

(See following pages)

Email: cbca@buffnet.net

Date: 03/2004

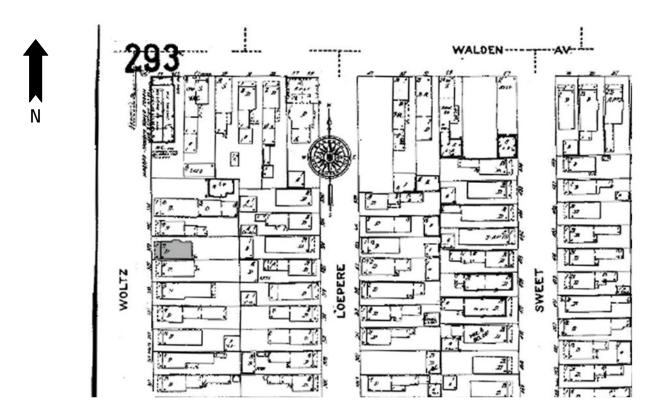
IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The multiplefamily house at 329 Woltz Street is located on the east side of the street, just south of Walden Avenuet. Woltz Street is a three-block long, residential, north-south street that extends from Broadway to Walden Avenue. The property is located in the northwest corner of the Broadway-Fillmore neighborhood. Martin Luther King, Jr. Park lies is located to the northwest. A vacant lot borders the property to the south.
A two-and-one-half story, closed-gabled residence with Craftsman detailing. It has a rectangular plan. The façade has a full-width porch with square columns, a closed wooden rail, and flat roof. The entrance door is located in the south bay. Fenestration one-over-one-double-hung wood sash. Exterior fabric is clapboard. The gable peak has a paired window grouping with hood and is sheathed with wooden shingle. The south elevation has a side entrance with canopy. A one-story addition extends east from the east end of the main block.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

constructed in the first decade of the twentieth century. It was built for P. Kaspazak in 1907. This type off house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, large Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing store in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.



PHOTOGRAPH: (Broadway-Fillmore R-7; N-22)



Telephone: (716) 852 -2020 ext.

HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION P.O. BOX 189, WATERFORD, NY 12188 (518) 237-8643

	OFFICE USE ONLY
USN:	

IDENTIFICATION	<u>ON</u>			
Property name (if a	iny)			
Address or Street I	ocation 332 Woltz Street			
County Erie	Town/Cit	y <u>Buffalo</u>	Village/Hamlet:	_
Owner		Address		
Original use Resid	lence: single-family	Current use Resid	dence: single-family	
Architect/Builder, if	known	Dat	e of construction, if known <u>ca</u>	ı. 1925
DESCRIPTION				
Materials – please	check those materials that are	e visible		
Exterior Walls:			vertical boards	plywood
	stone	☐ brick	poured concrete	concrete block
	vinyl siding	aluminum siding	cement-asbestos	other other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	brick	poured concrete	☐ concrete block
Other materials and	d their location:			
Alterations, if know	n: Replacement windows			Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
Photos Provide several cle For buildings or str acceptable for initia	uctures, this includes exterior	e property proposed for nomin and interior views, general se	nation. Submitted views should titing, outbuildings and landsca	d represent the property as a whole ape features. Color prints are
	photograph providing a complearate envelope or stapled to a		operty to the front of this sheet	. Additional views should be
			in relationship to streets, inter w. Include a scale or estimate	rsections or other widely recognized distances where possible.
Study: City of Buf	falo Intensive Level Historic Ro	esources Survey: Broadway-	Fillmore Neighborhood	
Prepared by: Clint	on Brown Company Architectu	ure, pc Address	s: 2100 Rand Building, 14 Lafa	ayette Sq., Buffalo NY 14203

(See following pages)

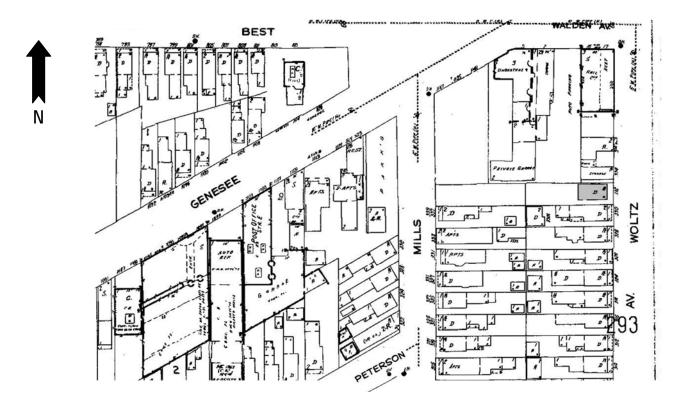
Email: cbca@buffnet.net

Date: 03/2004

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 332 Woltz Street is located on the west side of the street, just south of Walden Avenue. Woltz Street is a three-block long, residential, north-south street that extends from Broadway to Walden Avenue. The property is located in the northwest corner of the Broadway-Fillmore neighborhood. Martin Luther King, Jr. Park lies is located to the northwest. A vacant lot borders the property to the south.
A one-and-one-half story, front-gabled, frame, workers' cottage with no foundation. It has a rectangular plan. The entry door with stoop is set in the north bay and a single window is located in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. The gable end features cornice returns and wood shingles in the peak. A gabled dormer and a brick chimney rest on the south slope.
Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.



PHOTOGRAPH: (Broadway-Fillmore R-7; N-21)



Telephone: (716) 852 -2020 ext.

HISTORIC RESOURCE INVENTORY FORM

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	OFFICE USE ONLY	
USN:		

IDENTIFICATI	<u>ON</u>			
Property name (if	any)			
Address or Street	Location 52 Young Street			
County Erie	Town/Ci	ty <u>Buffalo</u>	Village/Hamlet:	
Owner		Address		
Original use Resid	dence: multiple-family	Current use Resid	dence: multiple-family	
Architect/Builder, i	f known	Dat	te of construction, if known 19	205
DESCRIPTION				
Materials - please	check those materials that ar	e visible		
Exterior Walls:	wood clapboard	wood shingle	vertical boards	plywood
	stone	☐ brick	poured concrete	☐ concrete block
	☐ vinyl siding	aluminum siding	cement-asbestos	other other
Roof:	asphalt, shingle	asphalt, roll	wood shingle	metal slate
Foundation:	stone	☐ brick	poured concrete	☐ concrete block
Other materials ar	nd their location:			
Alterations, if know	vn: Replacement windows			Date:
Condition:	excellent	⊠ good	☐ fair	deteriorated
Photos Provide several classification For buildings or st acceptable for initial	ructures, this includes exterior	e property proposed for nomir and interior views, general se	nation. Submitted views shoul etting, outbuildings and landsc	ld represent the property as a whole. ape features. Color prints are
	photograph providing a comp parate envelope or stapled to a		operty to the front of this shee	t. Additional views should be
	r drawn locational map indicati e property can be accurately p			rsections or other widely recognized edistances where possible.
Study: City of Bu	ffalo Intensive Level Historic F	Resources Survey: Broadway	Fillmore Neighborhood	
Prepared by: Clin	nton Brown Company Architect	ure, pc Address	s: 2100 Rand Building, 14 Laf	ayette Sq., Buffalo NY 14203

(See following pages)

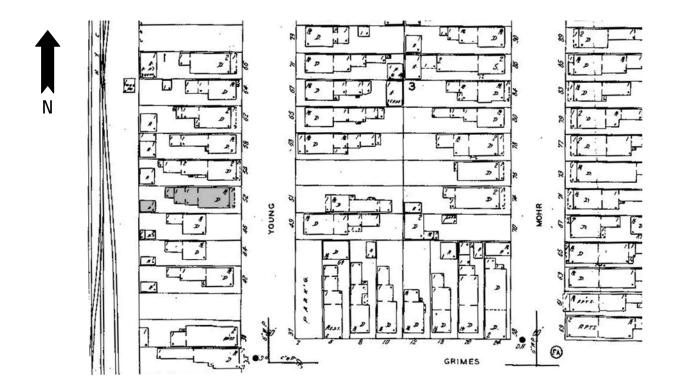
 $\textbf{Email:} \ \underline{\texttt{cbca@}} \underline{\texttt{buff}} \underline{\texttt{net.net}}$

Date: 03/2004

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The multiple-family house at 52 Young Street is located on the west side of the street, north of Grimes Street. Young Street is a two-block long, residential street that runs north-south from Broadway and dead ends at the New York Central terminal property.
A one-and-one-half story, front-gabled, frame, workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with square paneled columns, open wooden rail, and pent roof. An entry door is located in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. A gabled dormer rests on the south slope. Extending west from the west end of the main block is a one-story, gabled roof addition. Two brick chimneys rest on the center ridge.
Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in loca history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.
The building at 52 Young Street is significant as a good representative example of an early twentieth century, extended workers' cottage. It was built as a two-family dwelling for Katarzyna Maruszewska in 1905. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.



PHOTOGRAPH: (Broadway-Fillmore R-14; N-24)



HISTORIC RESOURCE INVENTORY FORM

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USN:		

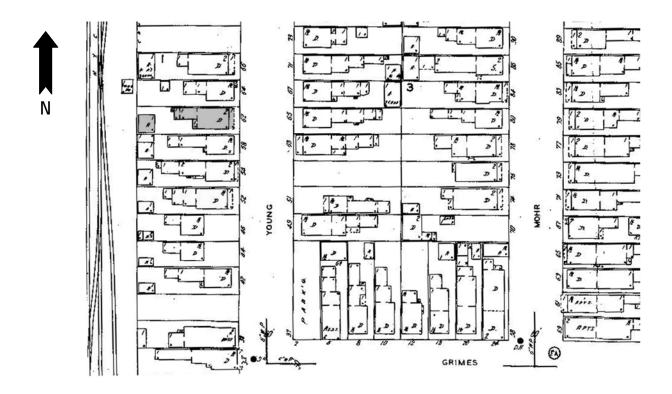
IDENTIFICAT	ION					
Property name (i	f any)					
Address or Stree	t Location 62 Young Stree					
County Erie	Town	/City <u>Buffalo</u>	Village/Hamlet:			
Owner		Address				
Original use Residence: multiple-family Currer		Current use	use Residence: multiple-family			
Architect/Builder, if known			Date of construction, if known _	1904		
DESCRIPTION						
Materials – pleas	e check those materials that	are visible				
Exterior Walls:			vertical boards	plywood		
	stone	☐ brick	poured concrete	concrete block		
	vinyl siding	aluminum siding	cement-asbestos	other other		
Roof:	asphalt, shingle	asphalt, roll	☐ wood shingle	metal slate		
Foundation:	stone	☐ brick	poured concrete	concrete block		
Other materials a	and their location:					
Alterations, if kno	own: Replacement windows			Date:		
Condition:	excellent	⊠ good	☐ fair	deteriorated		
	structures, this includes exter		nomination. Submitted views sho eral setting, outbuildings and lands	uld represent the property as a whole scape features. Color prints are		
	e photograph providing a cor parate envelope or stapled t		e or property to the front of this she	eet. Additional views should be		
			roperty in relationship to streets, in h arrow. Include a scale or estima	tersections or other widely recognized the distances where possible.		
Study: City of B	uffalo Intensive Level Histori	c Resources Survey: Broa	adway-Fillmore Neighborhood			
Prepared by: Cli	inton Brown Company Archit	ecture, pc A	ddress: 2100 Rand Building, 14 La	afayette Sq., Buffalo NY 14203		
Telephone: (71	6) 852 –2020 ext.		Email: cbca@buffnet.net	Date: 03/2004		

(See following pages)

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

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The multiple-family house at 62 Young Street is located on the west side of the street, north of Grimes Street. Young Street is a two-block long, residential street that runs north-south from Broadway and dead ends at the New York Central terminal property.
A two-and-one-half story, front-gabled, frame, workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width porch with rusticated concrete block foundation and pedestals, replacement metal rail and supports, and hipped roof. An entry door is located in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. The gable end has cornice returns and wood shingles in the peak. Extending west from the west end of the main block is a one-story, gabled roof addition. A brick chimney rests on the center ridge.
Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.
The building at 62 Young Street is significant as a good representative example of an early twentieth century extended workers' cottage. It was built for real estate agent Frank Ruszkiewicz. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.



PHOTOGRAPH: (Broadway-Fillmore R-14; N-23)

