



HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 23 Townsend Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known _____ Date of construction, if known ca. 1880

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input checked="" type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

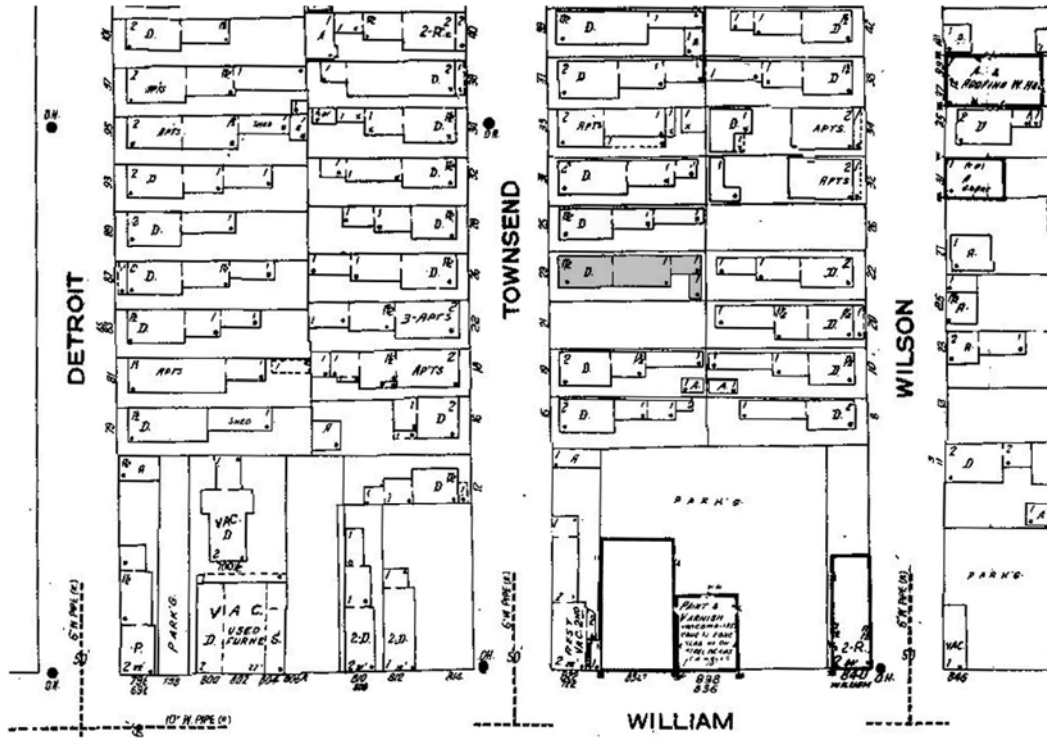
The multiple-family house at **23 Townsend Street** is located on the east side of the street, just north of William Street. Townsend Street is a three-block long, residential street that extends from William Street to Broadway. The property is located in the southwest quadrant of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the south.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has an entry door in the north bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash and casement. The gable end has a paired window grouping and wood shingles in the peak. A gabled dormer rests on the south slope. Extending east from the east end of the main block are two one-story, gabled-roof additions. The larger addition has two entrances on the south elevation. A brick chimney rests on the center ridge of the main block.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 23 Townsend Street is significant as a good representative example of an extended workers' cottage constructed in ca. 1880. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 210



PHOTOGRAPH: (Broadway-Fillmore R-12; N-25)





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P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

| |
|-----------------|
| OFFICE USE ONLY |
| USN: _____ |

IDENTIFICATION

Property name (if any) _____

Address or Street Location 25 Townsend Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: single-family Current use Residence: multiple-family

Architect/Builder, if known _____ Date of construction, if known ca. 1880

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

| | | | | |
|-------------|--------------------------------|--------------------------------|--|---|
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
|-------------|--------------------------------|--------------------------------|--|---|

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

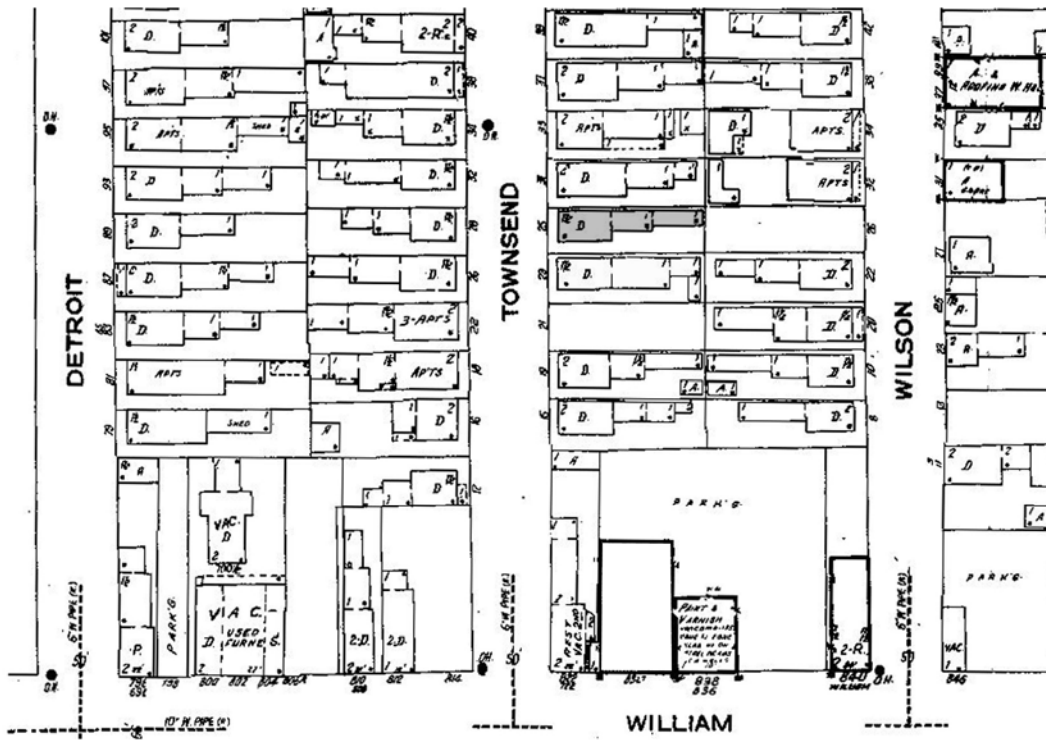
The multiple-family house at **25 Townsend Street** is located on the east side of the street, just north of William Street. Townsend Street is a three-block long, residential street that extends from William Street to Broadway. The property is located in the southwest quadrant of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has an entry door in the north bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash and casement. Extending east from the east end of the main block are two one-story, gabled-roof additions with entrances on the south elevations. A brick chimney rests on the center ridge of the main block.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 25 Townsend Street is significant as a good representative example of an extended workers' cottage constructed in ca. 1880. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 210



PHOTOGRAPH: (Broadway-Fillmore R-12; N-24)





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|-----------------|
| OFFICE USE ONLY |
| USN: _____ |

IDENTIFICATION

Property name (if any) _____

Address or Street Location 28 Townsend Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known _____ Date of construction, if known ca. 1885

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

| | | | | |
|-------------|--------------------------------|--------------------------------|--|---|
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
|-------------|--------------------------------|--------------------------------|--|---|

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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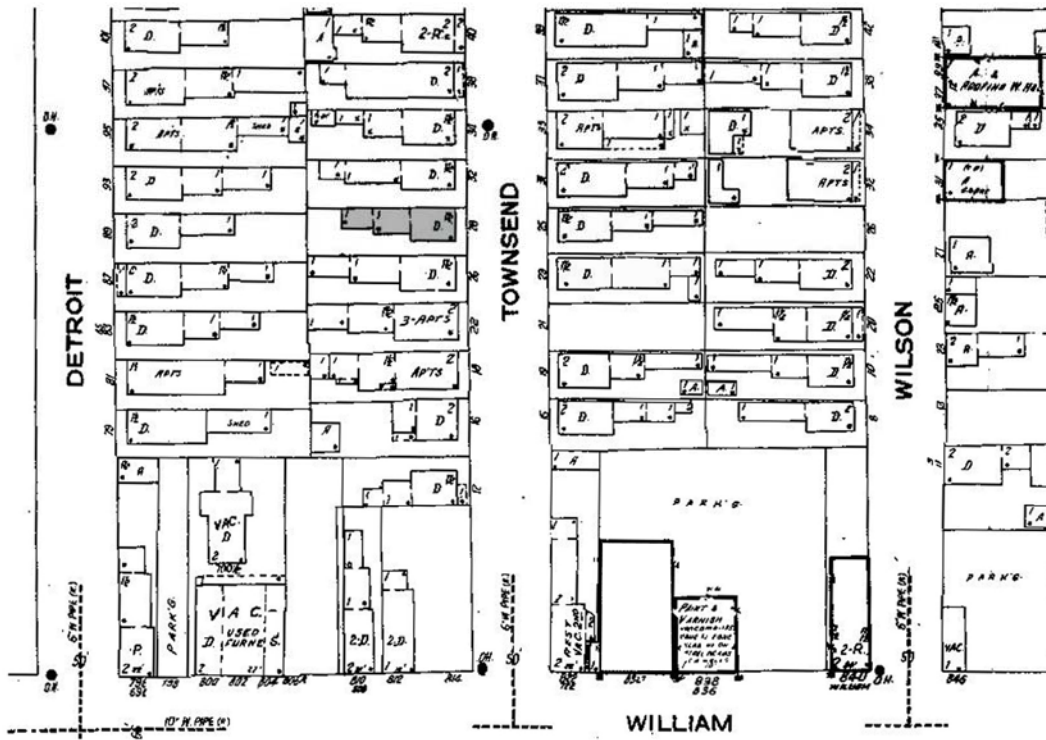
The single-family house at **28 Townsend Street** is located on the west side of the street, just north of William Street. Townsend Street is a three-block long, residential street that extends from William Street to Broadway. The property is located in the southwest quadrant of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the north.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has an entry door in the north bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash and casement.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 28 Townsend Street is significant as a good representative example of an extended workers' cottage constructed in ca. 1880. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 210



PHOTOGRAPH: (Broadway-Fillmore R-15; N-36)





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P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

| |
|-----------------|
| OFFICE USE ONLY |
| USN: _____ |

IDENTIFICATION

Property name (if any) _____

Address or Street Location 37 Townsend Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: single-family Current use Residence: multiple-family

Architect/Builder, if known _____ Date of construction, if known ca. 1880

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

| | | | | |
|-------------|--------------------------------|--------------------------------|--|---|
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
|-------------|--------------------------------|--------------------------------|--|---|

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

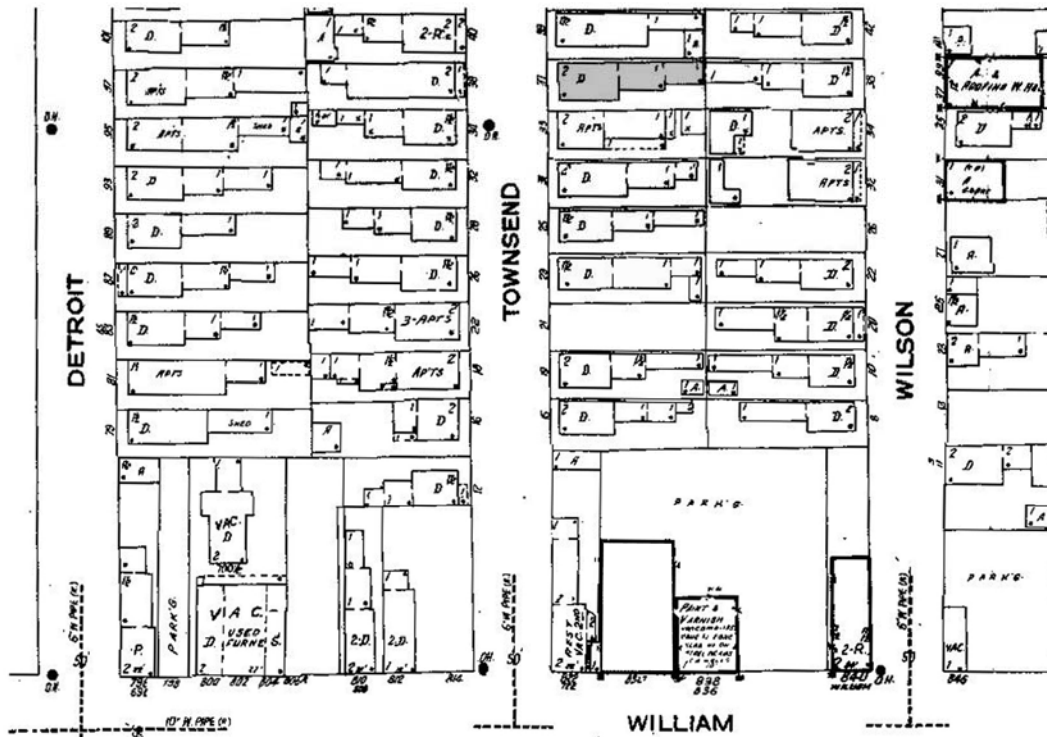
The multiple-family house at **37 Townsend Street** is located on the east side of the street, just north of William Street. Townsend Street is a three-block long, residential street that extends from William Street to Broadway. The property is located in the southwest quadrant of the Broadway-Fillmore neighborhood.

A two-story, front-gabled, frame, vernacular residence with no foundation. It has a rectangular plan. Exterior wall fabric is clapboard. The façade has entrance in the north bay. Fenestration is one-over-one, double-hung wood sash. A small round-arched window punctuates the gable peak. A chimney is located on the center ridge. Two, one-story additions extend east from the east end of the main block.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at **37 Townsend Street** is significant as a good representative example of an extended workers' cottage constructed in the mid-1880s. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 210



PHOTOGRAPH: (Broadway-Fillmore R-12; N-22)





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(518) 237-8643

| |
|-----------------|
| OFFICE USE ONLY |
| USN: _____ |

IDENTIFICATION

Property name (if any) _____

Address or Street Location 57 Townsend Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known _____ Date of construction, if known 1927

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

| | | | | |
|-------------|--------------------------------|--------------------------------|--|---|
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
|-------------|--------------------------------|--------------------------------|--|---|

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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The multiple-family house at **57 Townsend Street** is located on the east side of the street, between William and Peckham. Townsend Street is a three-block long, residential street that extends from William Street to Broadway. The property is located in the southwest quadrant of the Broadway-Fillmore neighborhood.

A two-story, front-gabled, frame, vernacular residence. It has a rectangular plan and is set on a rusticated concrete block foundation. Exterior wall fabric is clapboard. The façade has a full-width Craftsman porch with rusticated concrete block foundation and pedestals, replacement metal rail and supports, and flat roof. The entrance with $\frac{3}{4}$ sidelights is set in the north bay and a triple window grouping with leaded glass headers is located in the south bay. Fenestration is one-over-one, double-hung wood sash. The upper facade has an open porch with metal balustrade and similar fenestration as the ground floor. A chimney is located on the center ridge. A side entrance with bracketed canopy is located on the south elevation.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at **57 Townsend Street** is significant as a good representative example of a Craftsman, multiple-family residence constructed in 1927 in the Broadway-Fillmore neighborhood. It was built for M. Walenkiewicz. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.



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OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 128 Townsend Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: single-family Current use Vacant

Architect/Builder, if known _____ Date of construction, if known ca. 1880

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

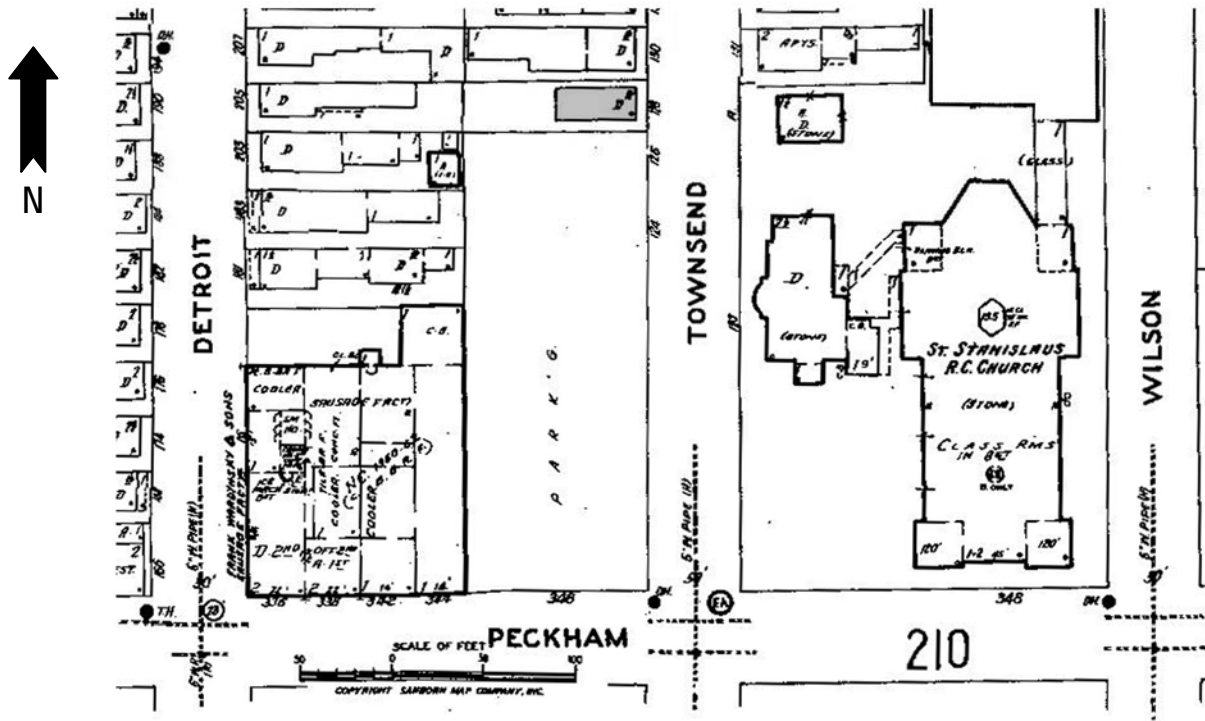
The building at **128 Townsend Street** is located the west side of the street, just north of Peckham Street. St. Stanislaus Church complex stands on the opposite side of the street to the east. Townsend Street is a three-block long, residential street that extends from William Street to Broadway. The property is located in the southwest quadrant of the Broadway-Fillmore neighborhood. Vacant lots border the property to the north and south.

A one-and-one-half story, front-gabled, frame, cottage with no foundation. It has a rectangular plan. Exterior wall fabric is clapboard. Window and door openings are boarded or removed. The entry door with replacement stoop is set in the north bay and a triple window grouping is located in the south bay. Attached to the west end of the main block is a one-story, shed-roof addition. Two brick chimneys rest on the center ridge of the main block.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 128 Townsend Street is significant as a good representative example of a workers' cottage constructed in ca. 1880. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 203



PHOTOGRAPH: (Broadway-Fillmore R-9; N-36)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

| |
|-----------------|
| OFFICE USE ONLY |
| USN: _____ |

IDENTIFICATION

Property name (if any) _____

Address or Street Location 149 Townsend Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known _____ Date of construction, if known ca. 1880

DESCRIPTION

Materials – please check those materials that are visible

| | | | | | |
|-----------------|--|--|--|--|--------------------------------|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input checked="" type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood | |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block | |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other | |
| Roof: | <input checked="" type="checkbox"/> asphalt, shingle | <input type="checkbox"/> asphalt, roll | <input type="checkbox"/> wood shingle | <input type="checkbox"/> metal | <input type="checkbox"/> slate |
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input checked="" type="checkbox"/> concrete block | |

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

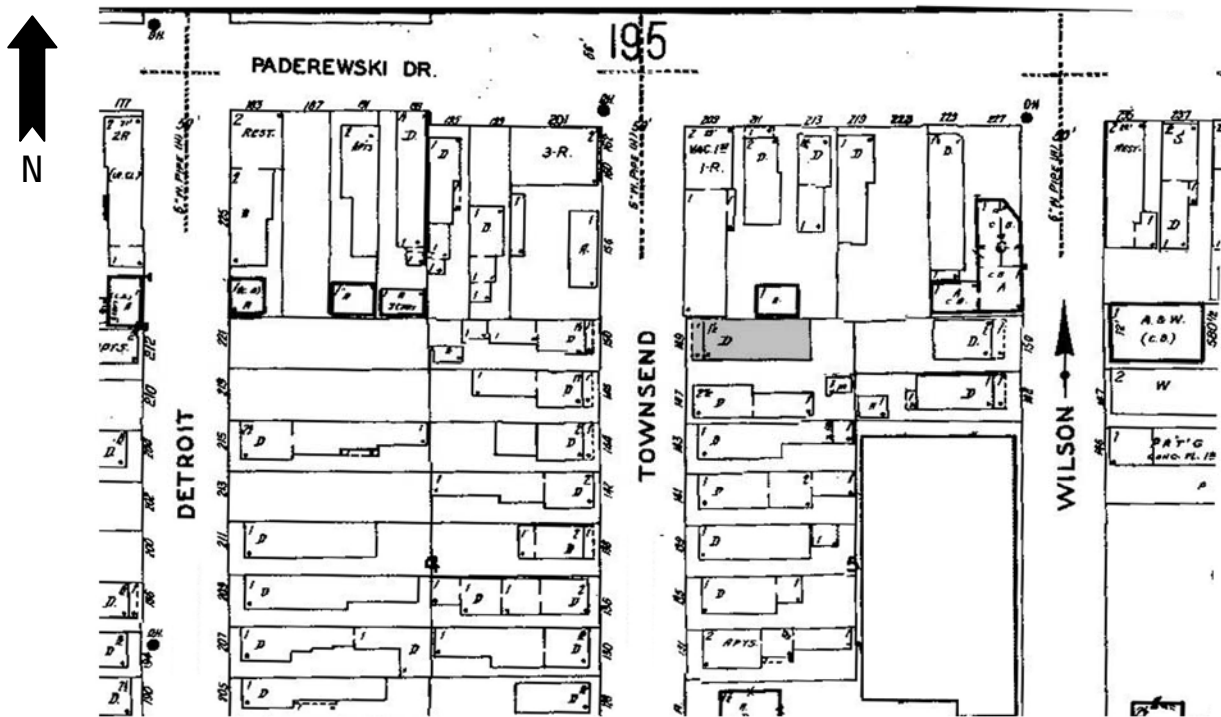
The single-family house at **149 Townsend Street** is located on the east side of the street, just south of Paderewski Drive. Townsend Street is a three-block long, residential street that extends from William Street to Broadway. The property is located in the southwest quadrant of the Broadway-Fillmore neighborhood. St. Stanislaus Church complex is located to immediately to the south.

A one-and-one-half story, front-gabled, frame, extended workers' cottage. It has a rectangular plan and is set on a rusticated concrete block foundation. Exterior wall fabric is clapboard. The façade has a full-width porch with replacement metal rail and supports, and a wood-shingled, closed-gable roof. The entrance is set in the north bay and a triple window grouping is located in the south bay. Attached to the west end of the main block is a one-story, gabled-roof addition. A brick chimney rests on the center ridge of the main block.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 149 Townsend Street is significant as a good representative example of an extended workers' cottage constructed in ca. 1880. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 203



PHOTOGRAPH: (Broadway-Fillmore R-9; N-31)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 150 Townsend Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known _____ Date of construction, if known ca. 1880

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input checked="" type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: Replacement windows, addition (1911) Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

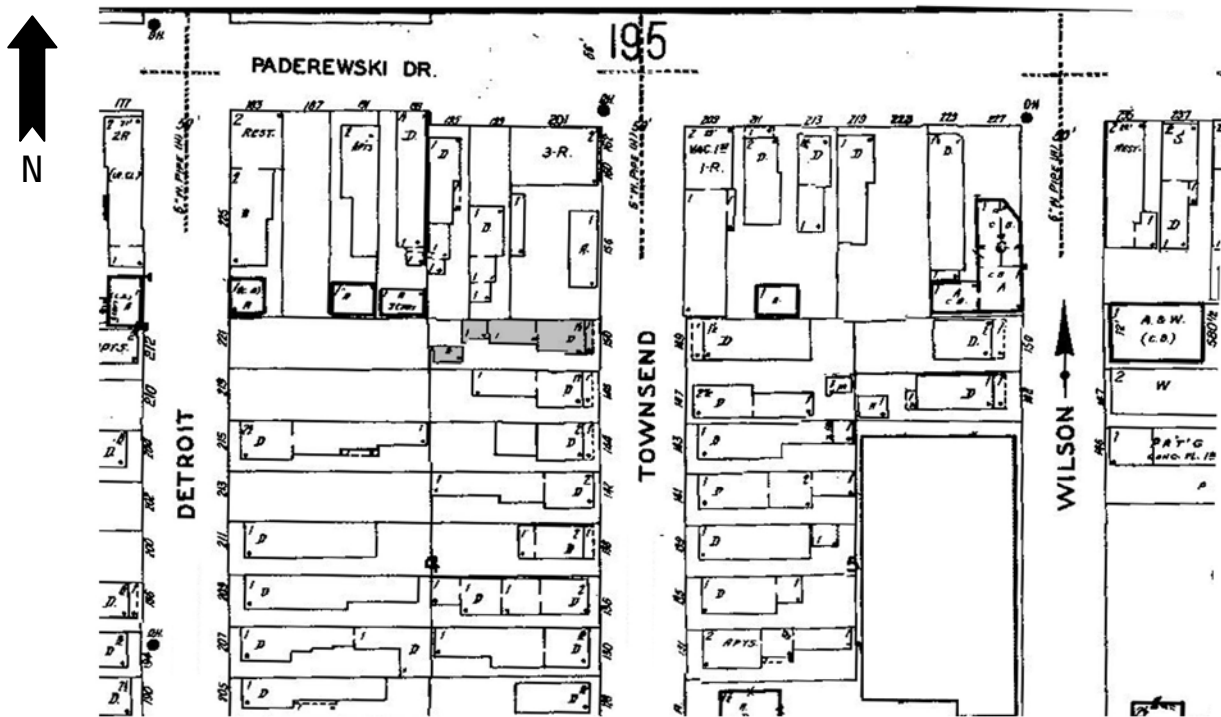
The single-family house at **150 Townsend Street** is located on the west side of the street, just south of Paderewski Drive. Townsend Street is a three-block long, residential street that extends from William Street to Broadway. The property is located in the southwest quadrant of the Broadway-Fillmore neighborhood. St. Stanislaus Church complex is located to immediately to the south.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. Exterior wall fabric is clapboard. The façade has a full-width Craftsman porch with rusticated concrete block foundation and pedestals, battered piers, and gabled roof with wood shingles. An entry door is located in the north bay and a triple window grouping is set in the south bay. Attached to the west end of the main block is a one-story, gabled-roof addition. A brick chimney rests on the center ridge of the main block.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 150 Townsend Street is significant as a good representative example of an extended workers' cottage constructed in ca. 1880 with a later Craftsman porch. It received an addition in 1911. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 203



PHOTOGRAPH: (Broadway-Fillmore R-9; N-30)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 199 Townsend Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: single-family Current use Vacant

Architect/Builder, if known _____ Date of construction, if known ca. 1880

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

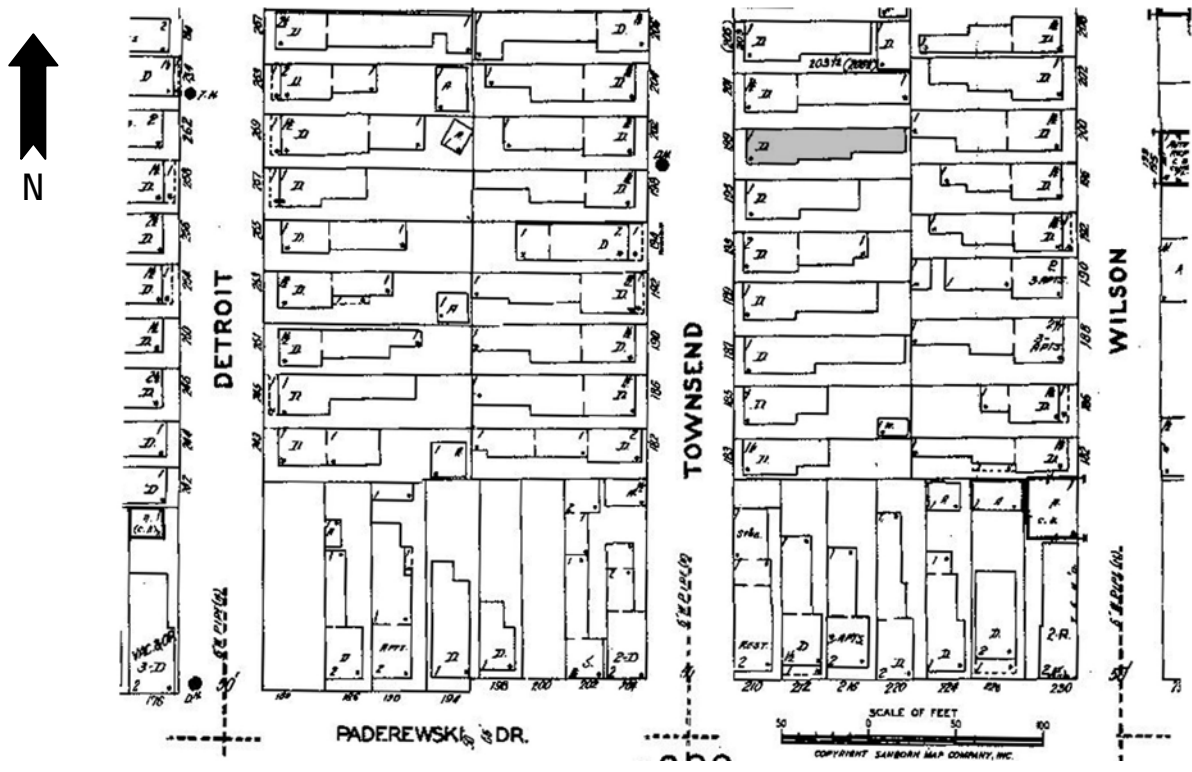
The building at **199 Townsend Street** is located on the east side of the street, just north of Paderewski Drive. Townsend Street is a three-block long, residential street that extends from William Street to Broadway. The property is located in the southwest quadrant of the Broadway-Fillmore neighborhood. St. Stanislaus Church complex is located to immediately to the south.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. Exterior wall fabric is clapboard. The façade has an entry door is located in the north bay and a triple window grouping is set in the south bay. Fenestration is six-, three-, and one-over-one, double-hung wood sash. Attached to the east end of the main block are two, one-story, gabled-roof additions. A brick chimney rests on the center ridge of the main block.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 199 Townsend Street is significant as a good representative example of an extended workers' cottage constructed in ca. 1880. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 195



PHOTOGRAPH: (Broadway-Fillmore R-9; N-29)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

| |
|-----------------|
| OFFICE USE ONLY |
| USN: _____ |

IDENTIFICATION

Property name (if any) _____

Address or Street Location 227 Townsend Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known _____ Date of construction, if known ca. 1880

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

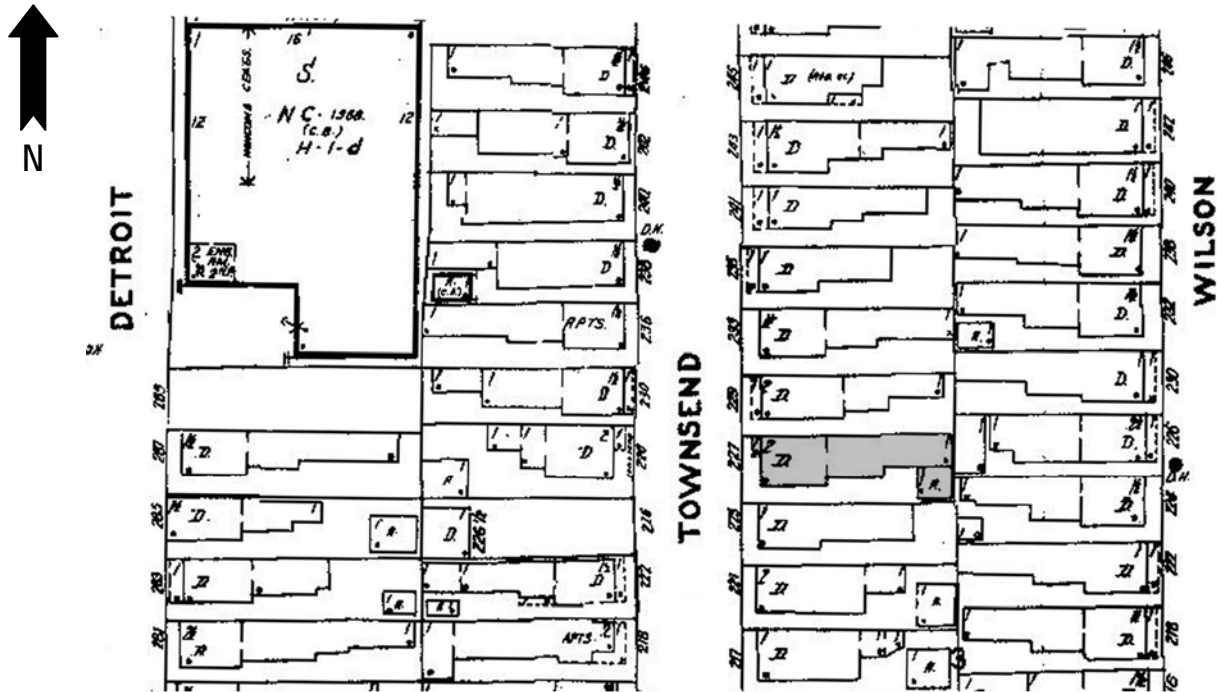
The multiple-family house at **227 Townsend Street** is located on the west side of the street, north of Paderewski Drive. Townsend Street is a three-block long, residential street that extends from William Street to Broadway. The property is located in the southwest quadrant of the Broadway-Fillmore neighborhood. St. Stanislaus Church complex is located to immediately to the north.

A two-story, front-gabled, frame, extended workers' cottage with no foundation. Exterior wall fabric is clapboard. The façade entry door is located in the north bay and a triple window grouping is set in the south bay. Fenestration is two- and one-over-one, double-hung wood sash. Attached to the east end of the main block are two, one-story, gabled-roof additions. A brick chimney rests on the center ridge of the main block.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at **227 Townsend Street** is significant as a good representative example of a two-story late nineteenth century workers' cottage. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 195



PHOTOGRAPH: (Broadway-Fillmore R-9; N-28)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 235 Townsend Street
County Erie Town/City Buffalo Village/Hamlet: _____
Owner _____ Address _____
Original use Residence: multiple-family Current use Residence: multiple-family
Architect/Builder, if known _____ Date of construction, if known ca. 1880

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

| | | | | |
|-------------|--------------------------------|--------------------------------|--|---|
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
|-------------|--------------------------------|--------------------------------|--|---|

Other materials and their location: _____

Alterations, if known: Replacement windows, enlarged (1906, 1941) Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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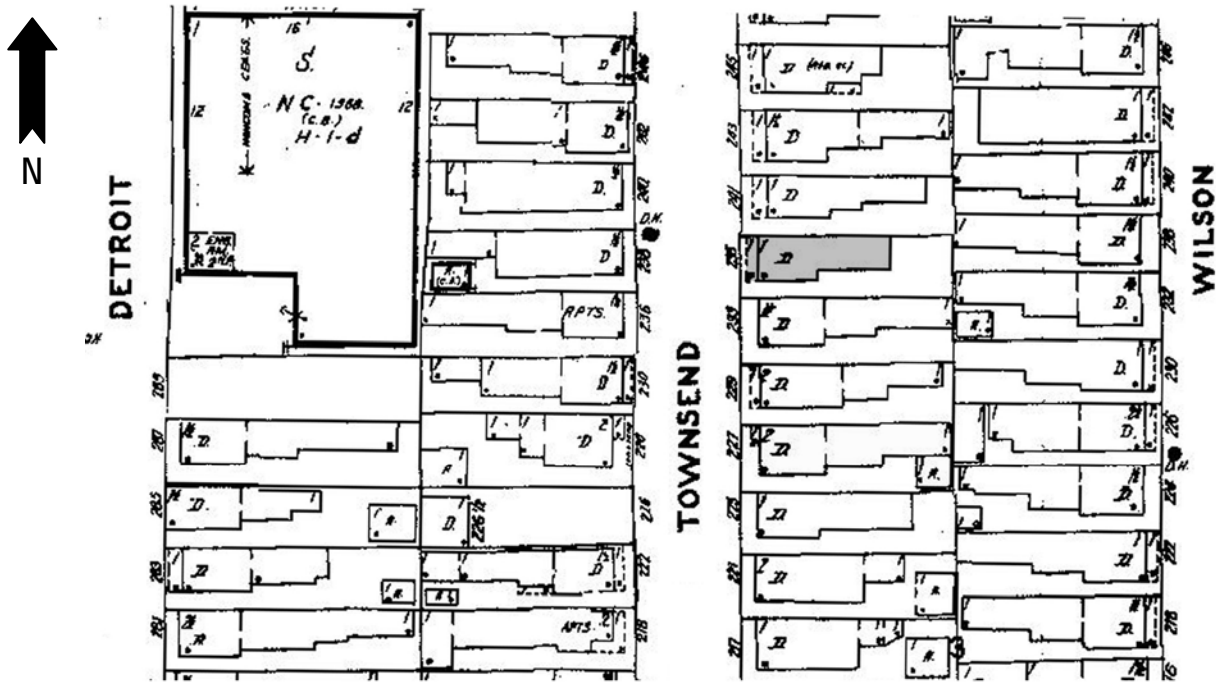
The multiple-family house at **235 Townsend Street** is located on the east side of the street, north of Paderewski Drive. Townsend Street is a three-block long, residential street that extends from William Street to Broadway. The property is located in the southwest quadrant of the Broadway-Fillmore neighborhood. St. Stanislaus Church complex is located to the south. A vacant lot borders the property to the north.

A one-story, front-gabled, frame, extended workers' cottage with no foundation. Exterior wall fabric is clapboard. The façade has a full-width Craftsman porch with paneled square columns and a pediment above the entry door bay. The façade entry door is located in the north bay and a triple window grouping is set in the south bay. Fenestration is one-over-one, double-hung wood sash. Attached to the east end of the main block are two one-story, gabled-roof additions. A brick chimney rests on the near the rear ridge of the main block.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at **235 Townsend Street** is significant as a good representative example of an extended late nineteenth century workers' cottage with a Craftsman porch. This two-family house was enlarged slightly by Jacob Musialowski in 1906, and again in 1941. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 195



PHOTOGRAPH: (Broadway-Fillmore R-9; N-27)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 240 Townsend Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: single-family Current use Vacant

Architect/Builder, if known _____ Date of construction, if known ca. 1885

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

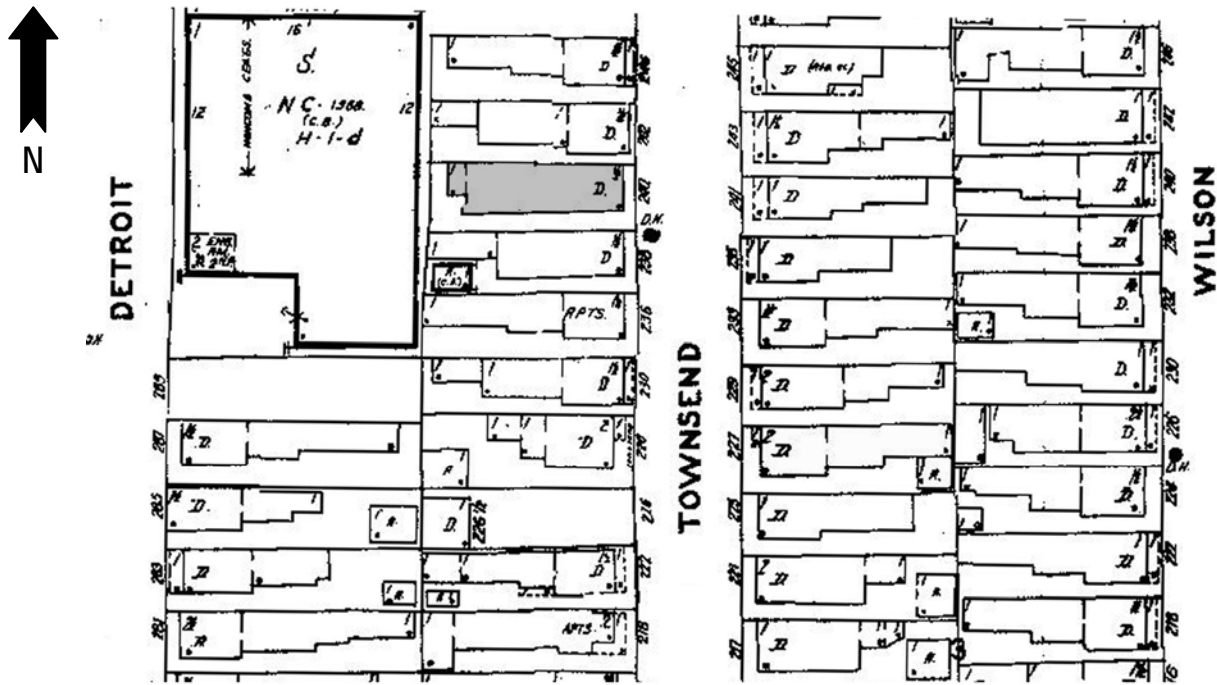
The building at **240 Townsend Street** is located on the west side of the street, north of Paderewski Drive. Townsend Street is a three-block long, residential street that extends from William Street to Broadway. The property is located in the southwest quadrant of the Broadway-Fillmore neighborhood. St. Stanislaus Church complex is located to the south. A vacant lot borders the property to the north.

A one-and-one-half story, front-gabled, frame, workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with rusticated concrete block foundation, open wooden rail and pedestals, square paneled piers, and a hipped roof. An entry door is located in the north bay and a triple window grouping is set in the south bay, both are currently boarded. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. A gabled dormer rests on the south slope. Extending west from the west end of the main block is a one-story, gabled roof addition. Two brick chimneys rest on the center ridge.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 240 Townsend Street as a good representative example of a late nineteenth century, extended workers' cottage with early twentieth century Craftsman detailing. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 195



PHOTOGRAPH: (Broadway-Fillmore R-9; N-26)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 31 Walden Avenue

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known _____ Date of construction, if known ca. 1885

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input checked="" type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

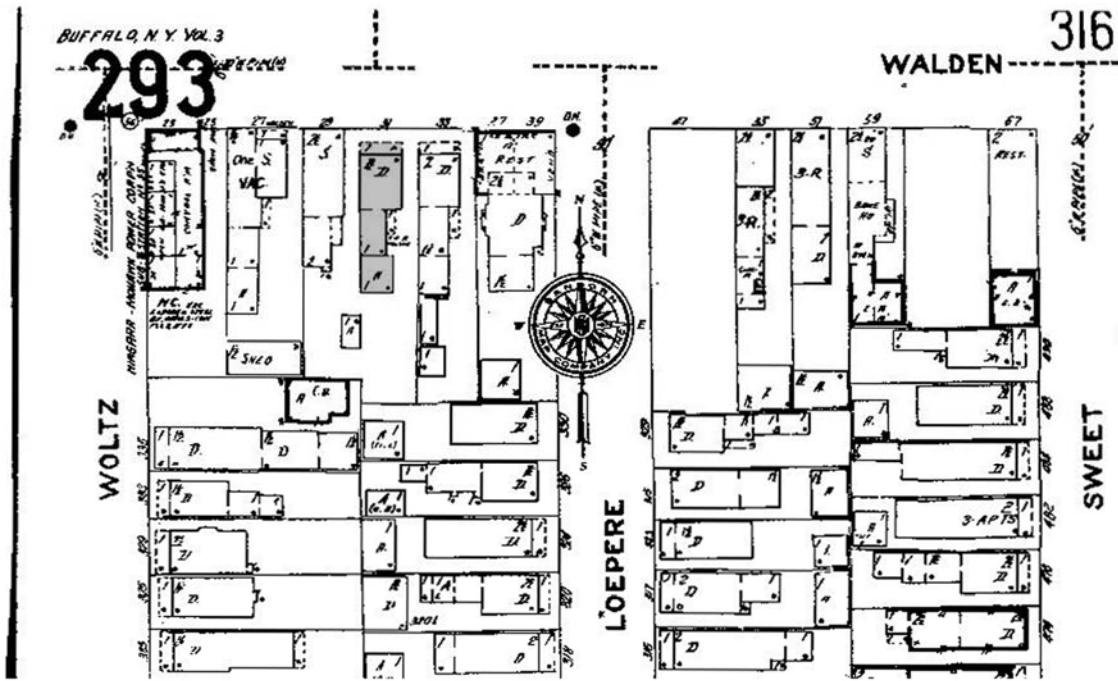
The single-family house at **31 Walden Avenue** is located on the south side of the street, between Woltz and Loepere streets. Walden Avenue begins at the western terminus of Best Street at Genesee Street. It is a principal east-west thoroughfare to the city's eastern suburbs. Martin Luther King, Jr. Park is located to the northwest on Best Street. The property is located in the northwest corner of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with rusticated concrete block foundation, paneled square columns, a solid wooden rail, and a hipped roof. An entry door is located in the west bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. Eastlake molding and imbricated wood shingles accent the gable end. Extending south from the south end of the main block is a one-story, gabled roof addition. A brick chimney rests near ridge.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 31 Walden Avenue is significant as a good representative example of a late nineteenth century, extended workers' cottage with Eastlake and early twentieth century Craftsman detailing. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 293



PHOTOGRAPH: (Broadway-Fillmore R-1; N-8)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
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P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

| |
|-----------------|
| OFFICE USE ONLY |
| USN: _____ |

IDENTIFICATION

Property name (if any) _____

Address or Street Location 83 Walden Avenue

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known Otto Reimer, builder Date of construction, if known 1906

DESCRIPTION

Materials – please check those materials that are visible

| | | | | | |
|-----------------|--|--|--|---|--------------------------------|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input checked="" type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood | |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block | |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other | |
| Roof: | <input checked="" type="checkbox"/> asphalt, shingle | <input type="checkbox"/> asphalt, roll | <input type="checkbox"/> wood shingle | <input type="checkbox"/> metal | <input type="checkbox"/> slate |
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block | |

Other materials and their location: _____

Alterations, if known: Replacement windows, second story addition (1909) Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The multiple-family house at **83 Walden Avenue** is located on the south side of the street, between Sweet and Sobieski streets. Walden Avenue begins at the western terminus of Best Street at Genesee Street. It is a principal east-west thoroughfare to the city's eastern suburbs. Martin Luther King, Jr. Park is located to the northwest on Best Street. The property is located in the northwest corner of the Broadway-Fillmore neighborhood.

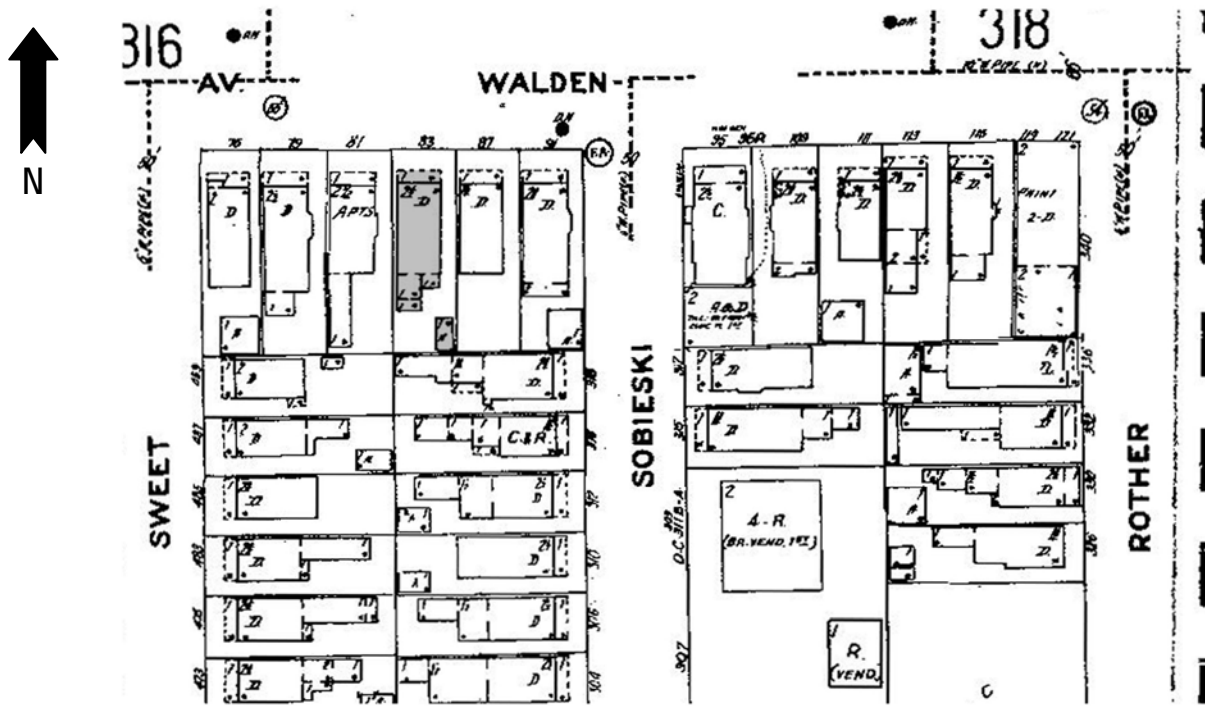
A two-and-one-half story, closed-gabled, frame building with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with rusticated concrete block foundation, paneled square columns, an open wooden rail and a hipped roof. An entry door is located in the west bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. Imbricated wood shingles sheath the gable end. Extending south from the south end of the main block is a one-story, gabled roof addition. A brick chimney rests on the east slope.

A detached, hipped-roof, single bay garage stands at the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 83 Walden Avenue is significant as a good representative example of a early twentieth century one-and-one-half -story workers' cottage that was enlarged. It was built as a 1½-story, two-family dwelling by Otto Reimer, and raised to a full two-stories in 1909 for Mary Becker. Reimer was a building contractor, and was responsible for rebuilding the interior of the Holy Mother of the Rosary Church after a fire in 1907. Because of growing families and the overall continued need for housing in the Broadway-Fillmore neighborhood, late nineteenth and early twentieth century workers' cottages were commonly expanded and raised in the early twentieth century.

MAP: Sanborn Map (Revised 1986) – Plate 293



PHOTOGRAPH: (Broadway-Fillmore R-1; N-9)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

| |
|-----------------------------------|
| OFFICE USE ONLY USN: _____ |
|-----------------------------------|

IDENTIFICATION

Property name (if any) _____
Address or Street Location 91 Walden Avenue
County Erie Town/City Buffalo Village/Hamlet: _____
Owner _____ Address _____
Original use Residence: multiple- family Current use Residence: multiple-family
Architect/Builder, if known _____ Date of construction, if known ca. 1910

DESCRIPTION

Materials – please check those materials that are visible

| | | | | | |
|-----------------|--|--|--|---|--------------------------------|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood | |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block | |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other | |
| Roof: | <input checked="" type="checkbox"/> asphalt, shingle | <input type="checkbox"/> asphalt, roll | <input type="checkbox"/> wood shingle | <input type="checkbox"/> metal | <input type="checkbox"/> slate |
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block | |

Other materials and their location: _____

Alterations, if known: Replacement windows, two story addition (1908) Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The multiple-family house at **91 Walden Avenue** is located on the southwest corner of Walden Avenue and Sobieski Street. Walden Avenue begins at the western terminus of Best Street at Genesee Street. It is a principal east-west thoroughfare to the city's eastern suburbs. Martin Luther King, Jr. Park is located to the northwest on Best Street. The property is located in the northwest corner of the Broadway-Fillmore neighborhood.

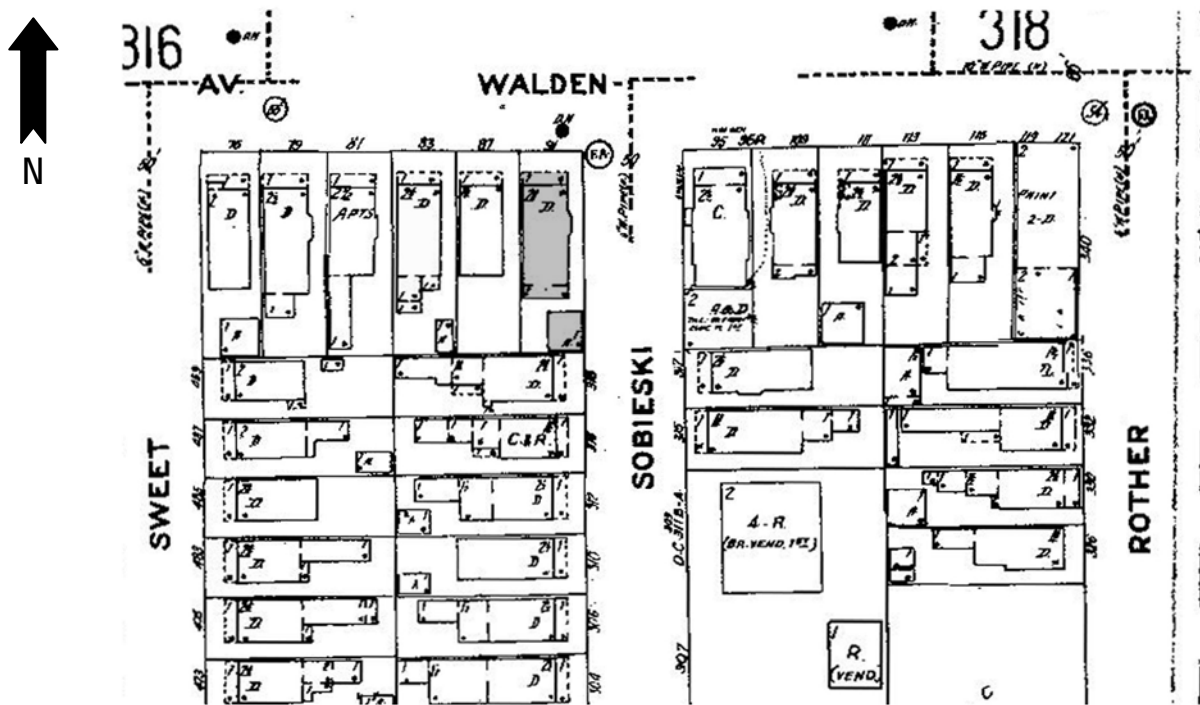
A two-and-one-half-story, closed-gabled, frame, multiple-family dwelling with no foundation. It has a rectangular plan. Exterior wall fabric is clapboard. The façade has a full-width Craftsman porch with a pediment over the entrance bay. The entrance is located in the west bay. Fenestration is one-over-one, double-hung wood sash. Other architectural details include corner boards and string courses that divide the levels of the façade. A 1908 two story addition with enclosed exterior stairway extends from the southern end of the main block. A chimney is located on the center ridge.

A detached, single bay garage with hipped roof stands at rear of the lot and fronts Sobieski Street.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 91 Walden Avenue is significant as a good representative example of a two-and-one-half-story multiple-family dwelling with Craftsman details constructed in the early twentieth century in the Broadway-Fillmore neighborhood. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 293



PHOTOGRAPH: (Broadway-Fillmore R-1; N-10)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

| |
|-----------------|
| OFFICE USE ONLY |
| USN: _____ |

IDENTIFICATION

Property name (if any) _____

Address or Street Location 98 Walden Avenue

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known _____ Date of construction, if known ca. 1885

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

| | | | | |
|-------------|--------------------------------|--------------------------------|--|---|
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
|-------------|--------------------------------|--------------------------------|--|---|

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

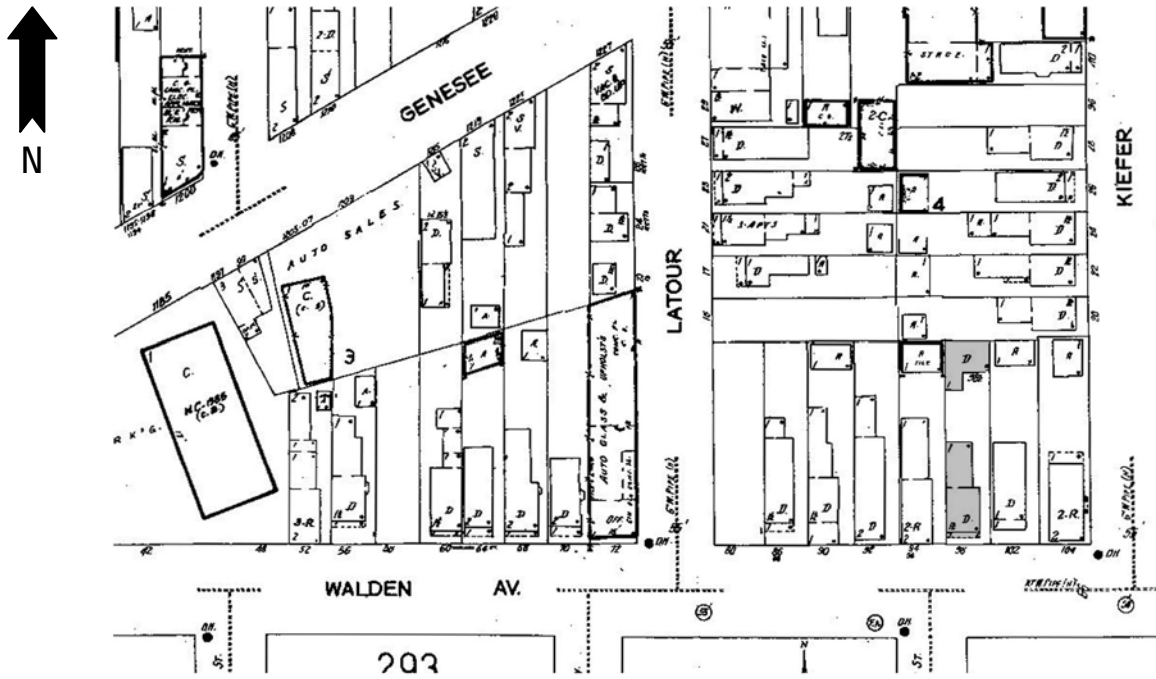
The single-family house at **98 Walden Avenue** is located on the north side of the street, between Latour and Kiefer streets. Walden Avenue begins at the western terminus of Best Street at Genesee Street. It is a principal east-west thoroughfare to the city's eastern suburbs. Martin Luther King, Jr. Park is located to the northwest on Best Street. The property is located in the northwest corner of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The entry door is set in the west bay and a triple window grouping is located in the east bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. Extending north from the north end of the main block is a one-story, gabled-roof addition. A brick chimney rests on the center ridge of the main block.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 98 Walden Avenue is significant as a good representative example of a late nineteenth century, extended workers' cottage. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 316



PHOTOGRAPH: (Broadway-Fillmore R-1; N-11)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 111 Walden Avenue

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known Otto Reimer, builder Date of construction, if known ca. 1910

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input checked="" type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The multiple-family house at **111 Walden Avenue** is located on the south side of the street between Sobieski and Rother streets. Walden Avenue begins at the western terminus of Best Street at Genesee Street. It is a principal east-west thoroughfare to the city's eastern suburbs. Martin Luther King, Jr. Park is located to the northwest on Best Street. The property is located in the northwest corner of the Broadway-Fillmore neighborhood.

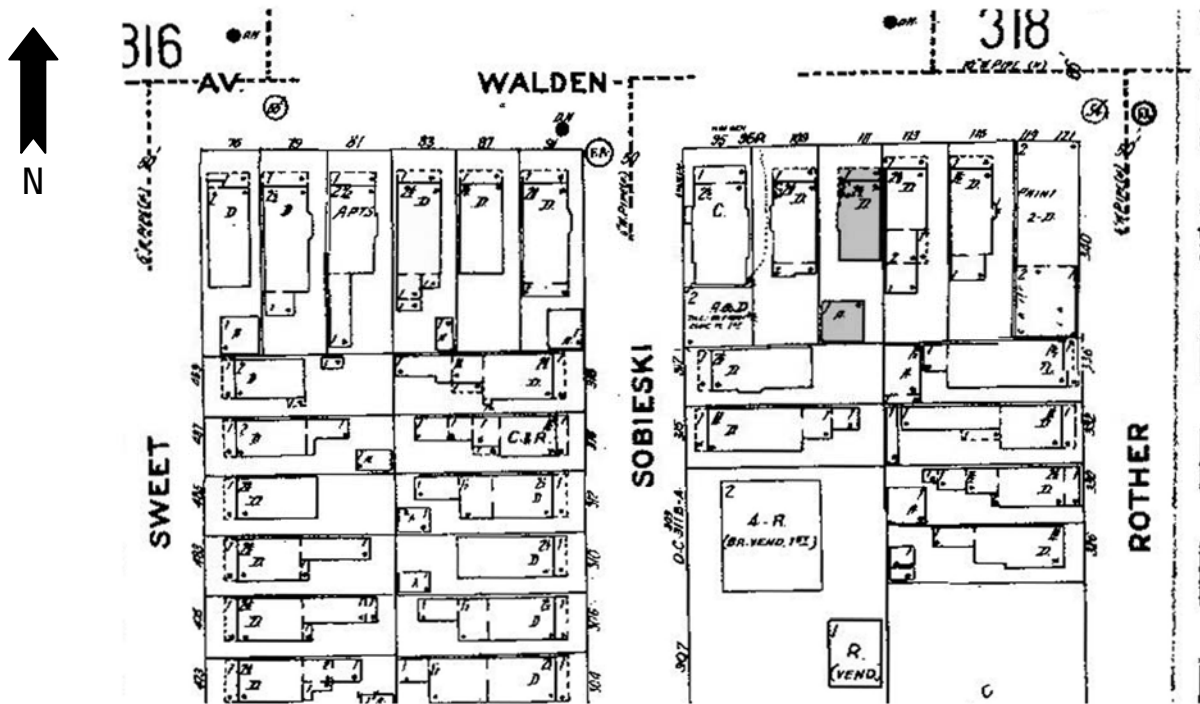
It was originally built as a one-and-one-half story, two-family dwelling by and was raised to a full two-stories in 1909. This Craftsman house has a hipped roof and full-width porch with square columns and a solid paneled rail. It has a rectangular plan and is set on a rusticated concrete block foundation. Entrances are located in the end bays and the central bay is punctuated by a triple-window grouping. Fenestration is one-over-one-double hung sash. Exterior wall fabrics are clapboard and wood shingle. The upper façade has an open porch with metal balustrade and an entrance in the east bay. A hipped dormer rests on the front slope. A full-height oriel is located on the west elevation. A brick chimney rests off-center ridge on the west slope.

A detached, two-bay garage with hipped roof stands at the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 111 Walden Avenue is significant as a good representative example of a modest workers' cottage that was enlarged to full two-stories. Because of growing families and the overall continued need for housing in the Broadway-Fillmore neighborhood, late nineteenth century workers' cottages were commonly expanded and raised in the early twentieth century.

MAP: Sanborn Map (Revised 1986) – Plate 293



PHOTOGRAPH: (Broadway-Fillmore R-1; N-12)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

| |
|-----------------------------------|
| OFFICE USE ONLY USN: _____ |
|-----------------------------------|

IDENTIFICATION

Property name (if any) _____
Address or Street Location 113 Walden Avenue
County Erie Town/City Buffalo Village/Hamlet: _____
Owner _____ Address _____
Original use Residence: multiple-family Current use Residence: multiple-family
Architect/Builder, if known _____ Date of construction, if known ca. 1890

DESCRIPTION

Materials – please check those materials that are visible

| | | | | | |
|-----------------|--|--|--|--|--------------------------------|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input checked="" type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood | |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block | |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other | |
| Roof: | <input checked="" type="checkbox"/> asphalt, shingle | <input type="checkbox"/> asphalt, roll | <input type="checkbox"/> wood shingle | <input type="checkbox"/> metal | <input type="checkbox"/> slate |
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input checked="" type="checkbox"/> concrete block | |

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

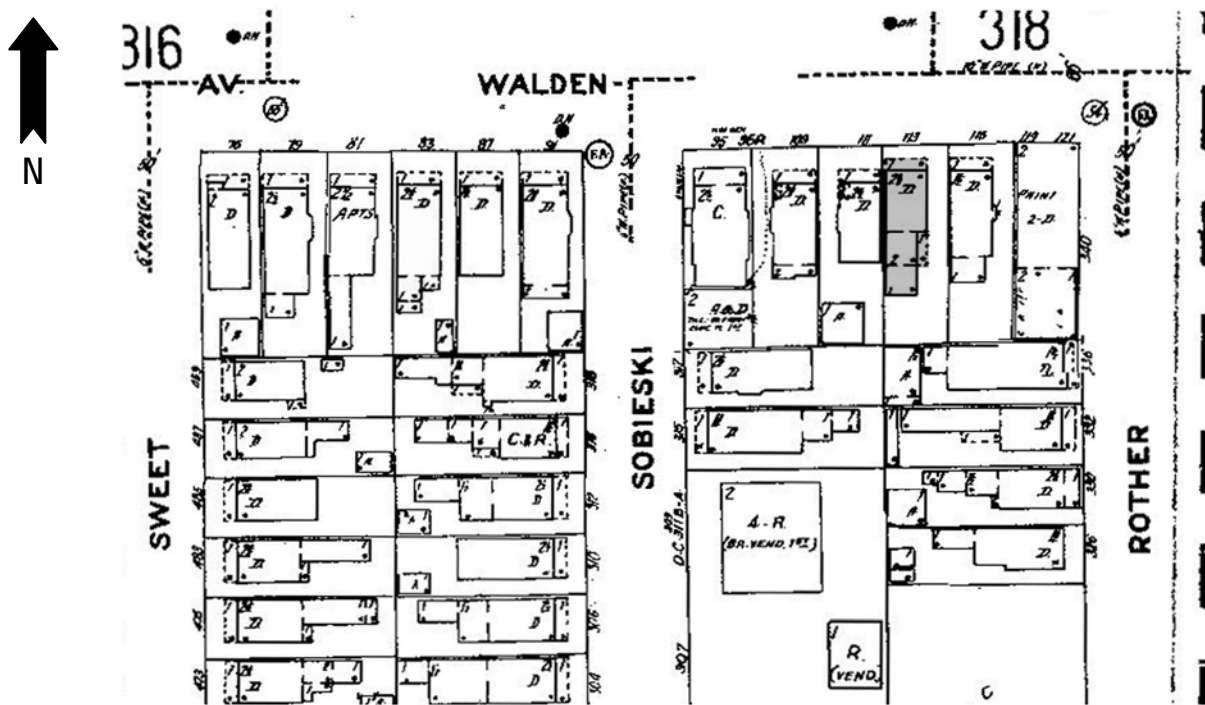
The multiple-family house at **113 Walden Avenue** is located on the south side of the street between Sobieski and Rother streets. Walden Avenue begins at the western terminus of Best Street at Genesee Street. It is a principal east-west thoroughfare to the city's eastern suburbs. Martin Luther King, Jr. Park is located to the northwest on Best Street. The property is located in the northwest corner of the Broadway-Fillmore neighborhood.

A two-and-one-half story, closed-gabled Craftsman house. It has a rectangular plan and is set on a rusticated concrete block foundation. The façade has a full-width porch with rusticated concrete foundation and pedestals, paneled square piers and a replacement metal rail. The entrance is located in the west bay and a triple window grouping is set in the east bay. Fenestration is three- and one-over-one, double hung sash and casement. Exterior wall fabrics are clapboard and wood shingle. The upper façade has an open porch with metal balustrade, an oriel and an entrance in the west bay. A brick chimney rests off-center ridge on the west slope. A two-story addition extends south from the south end of the main block.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 113 Walden Avenue is significant as a good representative example of late-nineteenth century multiple-family dwelling with Craftsman details. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 293





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

| |
|-----------------|
| OFFICE USE ONLY |
| USN: _____ |

IDENTIFICATION

Property name (if any) _____

Address or Street Location 139 Walden Avenue

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known _____ Date of construction, if known ca. 1915

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

| | | | | |
|-------------|--------------------------------|--------------------------------|--|---|
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
|-------------|--------------------------------|--------------------------------|--|---|

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

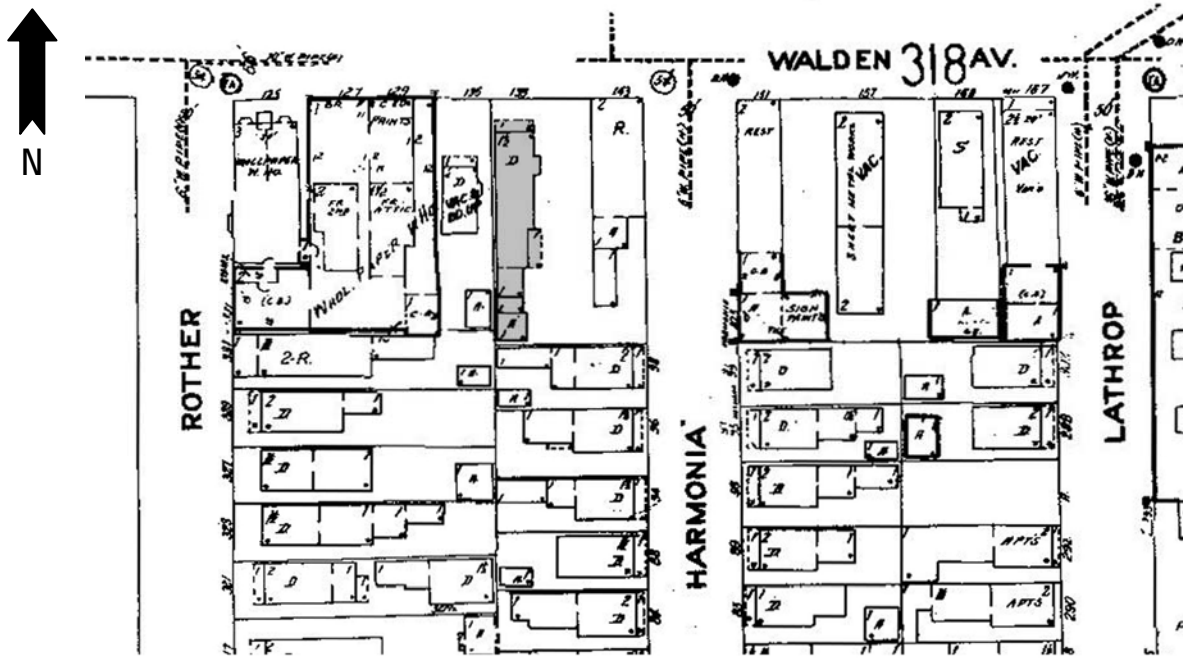
The single-family house at **139 Walden Avenue** is located on the south side of the street, between Harmonia and Rother streets. Walden Avenue begins at the western terminus of Best Street at Genesee Street. It is a principal east-west thoroughfare to the city's eastern suburbs. Martin Luther King, Jr. Park is located to the northwest on Best Street. The property is located in the northwest corner of the Broadway-Fillmore neighborhood.

A one-and-one-half story, frame, Craftsman workers' cottage with a broad front-gabled roof. It has a rectangular plan. The façade has an intact full-width porch with square columns, an open wooden rail, a pediment above the entry bay, and a hipped roof. The main entrance is set in the west bay and a triple-window grouping punctuates the west bay. Fenestration is one-over-one, double-hung wood sash. Exterior wall fabric is clapboard. The gable end features cornice returns and a paired window grouping with pent. The roof features shed dormers and two brick chimneys. The east elevation has an oriel. A one-story addition extends south from the south end of the main block.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 139 Walden Avenue is significant as a good representative example of Craftsman workers' cottage. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 294



PHOTOGRAPH: (Broadway-Fillmore R-1; N-14)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

| |
|-----------------------------------|
| OFFICE USE ONLY USN: _____ |
|-----------------------------------|

IDENTIFICATION

Property name (if any) Buffalo Traction Company streetcar barn
Address or Street Location 175 Walden Avenue
County Erie Town/City Buffalo Village/Hamlet: _____
Owner _____ Address _____
Original use Transportation Current use Industrial
Architect/Builder, if known George A Ricker, architect Date of construction, if known 1897

DESCRIPTION

Materials – please check those materials that are visible

| | | | | | |
|-----------------|--|---|--|---|--------------------------------|
| Exterior Walls: | <input type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood | |
| | <input type="checkbox"/> stone | <input checked="" type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block | |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other | |
| Roof: | <input checked="" type="checkbox"/> asphalt, shingle | <input type="checkbox"/> asphalt, roll | <input type="checkbox"/> wood shingle | <input type="checkbox"/> metal | <input type="checkbox"/> slate |
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block | |

Other materials and their location: _____

Alterations, if known: 1899 addition, 1928 bus garage Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

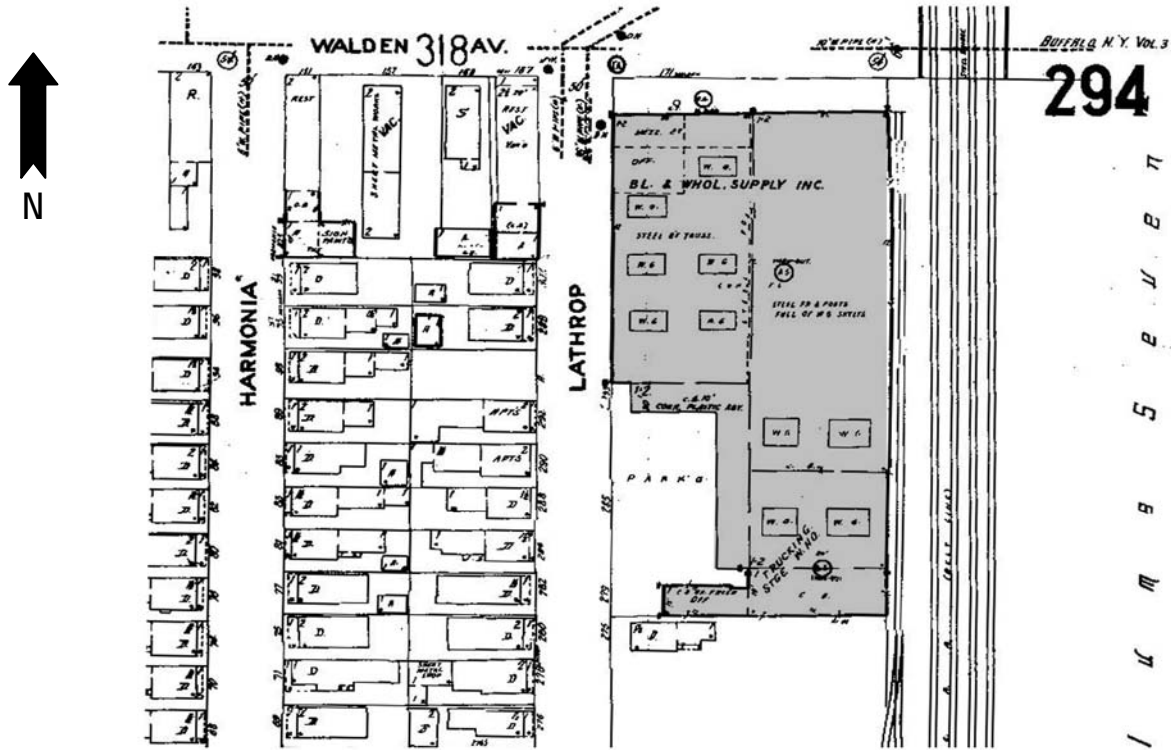
The building at **175 Walden Avenue** is located on the southeast corner of Walden Avenue and Lathrop Street. Walden Avenue begins at the western terminus of Best Street at Genesee Street. It is a principal east-west thoroughfare to the city's eastern suburbs. The former tracks of the New York Central Railroad border the property to the east. Martin Luther King, Jr. Park is located to the west on Best Street. The property is located in the northwest corner of the Broadway-Fillmore neighborhood.

A one-and-one-half story, brick building with a broad gabled roof and stepped parapet. The main block features round arched-windows with stone impost blocks openings on the ground floor. The façade window openings feature stone keystones and brick panels. The upper façade has an oculus the end bays and three window groupings comprised of a large central, round-arch window opening with a triple window grouping flanked by single, round-arched openings. Fenestration is six-over-one double-hung wood sash. A one-story, flat-roofed, brick addition with steel frame is attached to the east side of the main block.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The Buffalo Traction Company streetcar barn at 175 Walden Avenue is significant as a good representative example of an architect-designed transportation building constructed in the late-1890s in the Broadway-Fillmore neighborhood. Designed by local architect George A. Ricker, it was built as a streetcar barn for the Buffalo Traction Company, which later became the International Railway Co. A bus garage was added in 1928. It is also historically significant for its association with the city's transportation history. The building is a poignant reminder of this bygone mode of urban travel. The construction of the Belt Line railway in the 1880s somewhat east of the Broadway-Fillmore area also played a role in the neighborhood's development. It was usually considered the boundary of the large East Side Polish community.

MAP: Sanborn Map (Revised 1986) – Plate 294



PHOTOGRAPH: (Broadway-Fillmore R-11; N-15)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
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P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

| |
|-----------------------------------|
| OFFICE USE ONLY USN: _____ |
|-----------------------------------|

IDENTIFICATION

Property name (if any) _____

Address or Street Location 11 Warren Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Commercial Current use Vacant

Architect/Builder, if known _____ Date of construction, if known 1928

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|---|--|--|--|
| Exterior Walls: | <input type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input checked="" type="checkbox"/> other stucco |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

| | | | | |
|-------------|--------------------------------|--------------------------------|--|---|
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
|-------------|--------------------------------|--------------------------------|--|---|

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

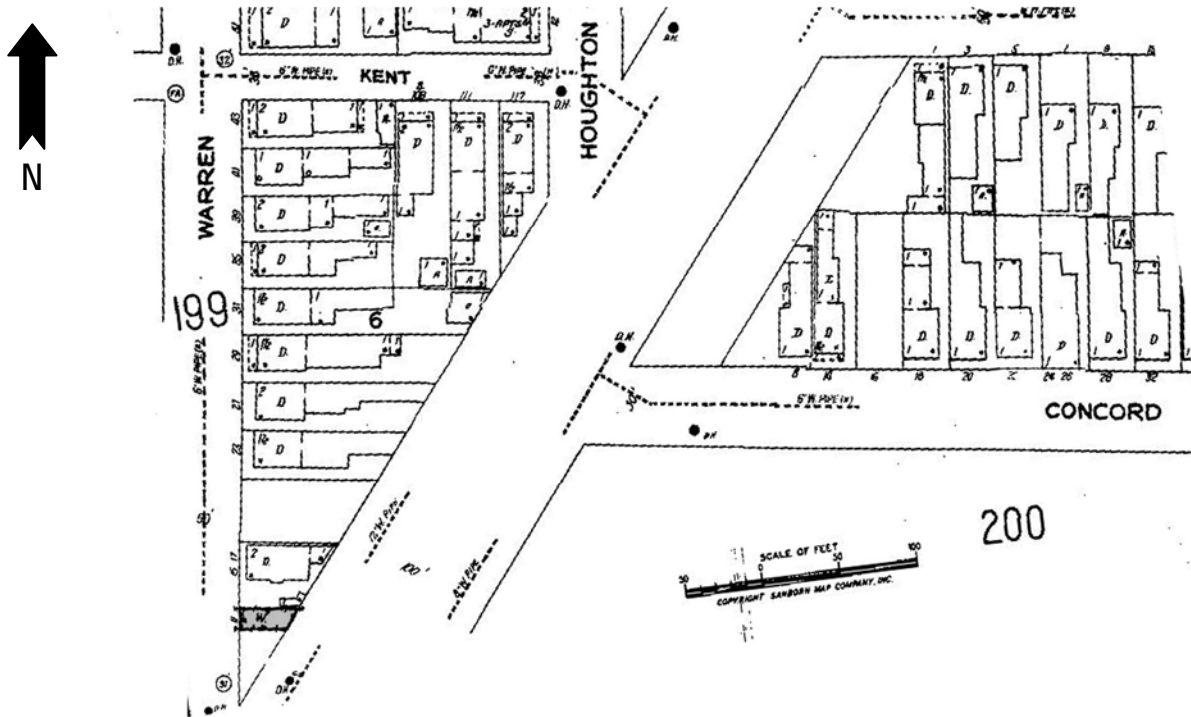
The building at **11 Warren Street** is located on a triangular-shaped parcel on the northeast corner of Warren Avenue and Memorial Drive. The surrounding area is residential. The New York Central Terminal stands to the south. When the terminal was constructed in the late 1920s, the city revised the street plan of the southeast section of the Broadway-Fillmore neighborhood. Memorial Drive, a broad, diagonal avenue leading northeast from William Street to Broadway, was created at that time.

A small, flat-roofed, rectangular-shaped building that was originally constructed as a filling station. Exterior fabric is stucco. The west elevation features a garage bay. The south elevation has a boarded window and an entrance door in the east bay. The roof has a curved parapet.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 11 Warren Street is significant as a good representative example of a filling station constructed in the late 1920s in the Broadway-Fillmore neighborhood. The gas station, also called the filling or service station, developed in the early twentieth century to provide fuel and other automobile products at a convenient location for the growing number of car owners. During the 1920s, oil companies began constructing gas stations in residential neighborhoods. These small buildings reflected the popular residential architectural styles of the period, the Colonial Revival, Craftsman, and cottage variant of Tudor Revival styles were favored for exterior detailing.

MAP: Sanborn Map (Revised 1986) – Plate 198



PHOTOGRAPH: (Broadway-Fillmore R-12; N-16)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
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P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 12 Warren Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known _____ Date of construction, if known ca. 1890

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

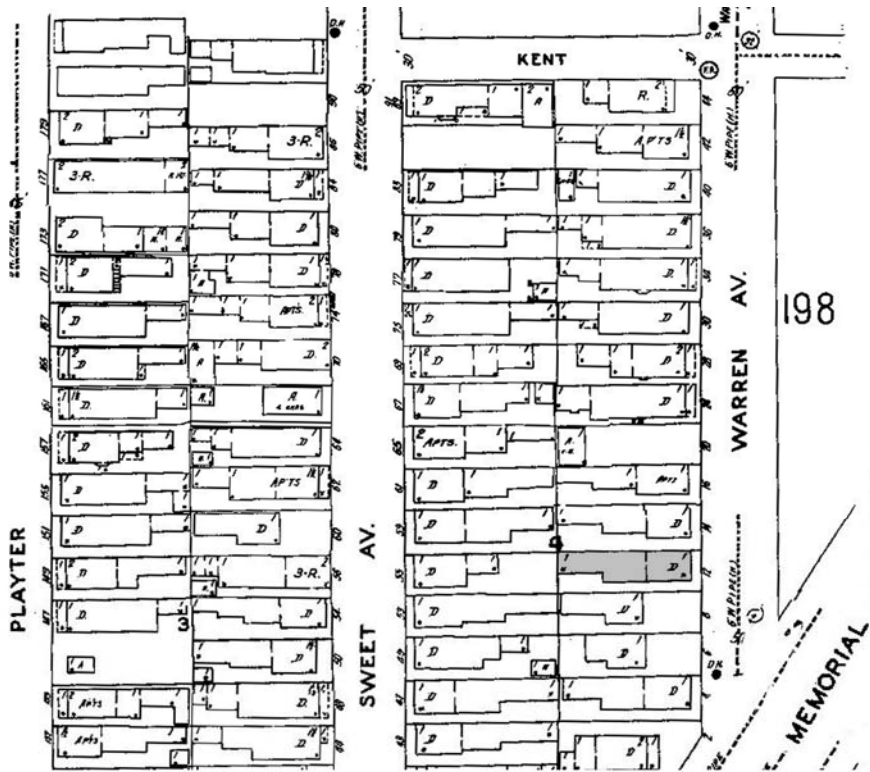
The single-family house at **12 Warren Street** is located on the west side of street, just north of Memorial Drive. Warren Street is a two-block long, north-south street extending from Memorial Drive to Broadway. The New York Central terminal stands to the southwest. The property is located in the southern section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The entry door is set in the north bay and a triple window grouping is located in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. A brick chimney rests on the center ridge of the main block. A one-story, gabled-roof addition with entrance on the south side extends west from the west end of the main block.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 12 Warren Street is significant as a good representative example of an extended workers' cottage constructed in ca. 1890. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 199



PHOTOGRAPH: (Broadway-Fillmore R-12; N-15)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

| |
|-----------------|
| OFFICE USE ONLY |
| USN: _____ |

IDENTIFICATION

Property name (if any) _____

Address or Street Location 29 Warren Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known _____ Date of construction, if known ca. 1890

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input checked="" type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

| | | | | |
|-------------|--------------------------------|--------------------------------|--|---|
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
|-------------|--------------------------------|--------------------------------|--|---|

Other materials and their location: _____

Alterations, if known: Replacement windows, addition (1918) Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

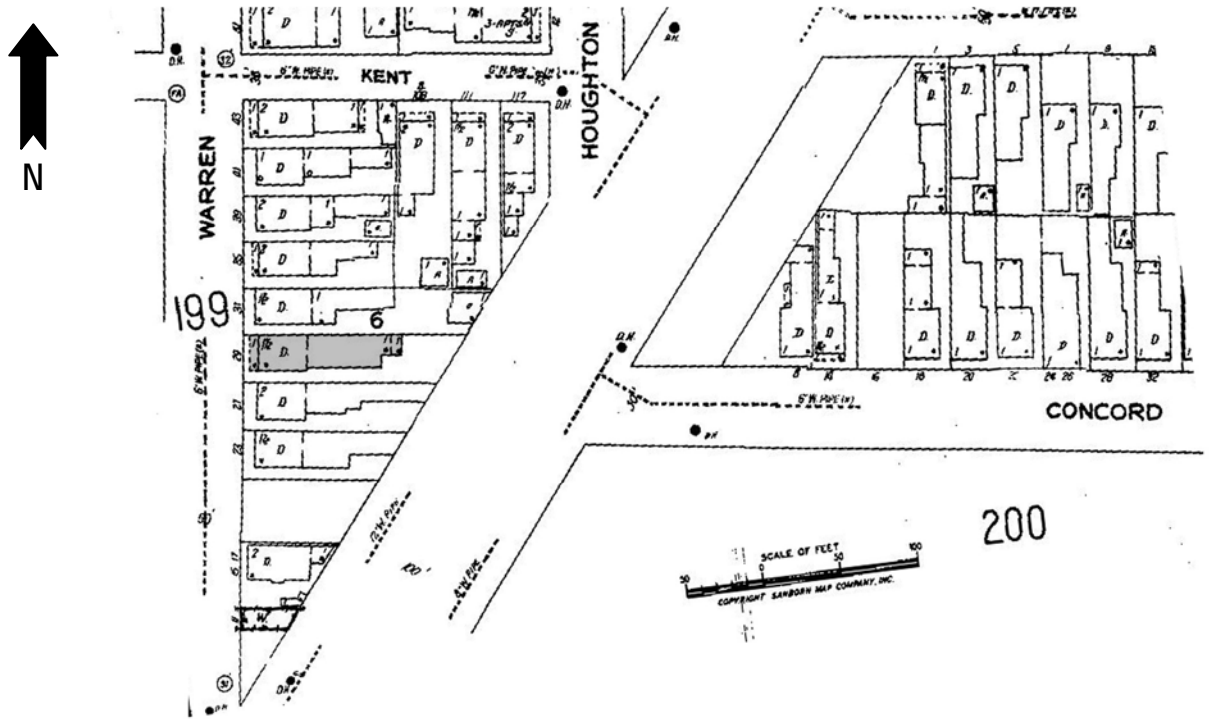
The single-family house at **29 Warren Street** is located on the east side of the street just north of Memorial Drive. Warren Street is a two-block long, north-south street extending from Memorial Drive to Broadway. The New York Central terminal stands to the southwest. The property is located in the southern section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with a rusticated concrete block foundation and piers, a replacement rail and supports, and a gabled roof with wood shingles. The entry door is located in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. Extending east from the east end of the main block is a one-story, gabled-roof addition. A brick chimney rests off-center ridge.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 29 Warren Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with early twentieth century Craftsman detailing. The front portion of this 2 family dwelling was added by Joseph Lukasik in 1918. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 198



PHOTOGRAPH: (Broadway-Fillmore R-12; N-17)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

| |
|-----------------|
| OFFICE USE ONLY |
| USN: _____ |

IDENTIFICATION

Property name (if any) _____

Address or Street Location 40 Warren Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known _____ Date of construction, if known ca. 1905

DESCRIPTION

Materials – please check those materials that are visible

| | | | | | |
|-----------------|--|--|--|---|--------------------------------|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood | |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block | |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other | |
| Roof: | <input checked="" type="checkbox"/> asphalt, shingle | <input type="checkbox"/> asphalt, roll | <input type="checkbox"/> wood shingle | <input type="checkbox"/> metal | <input type="checkbox"/> slate |
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block | |

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

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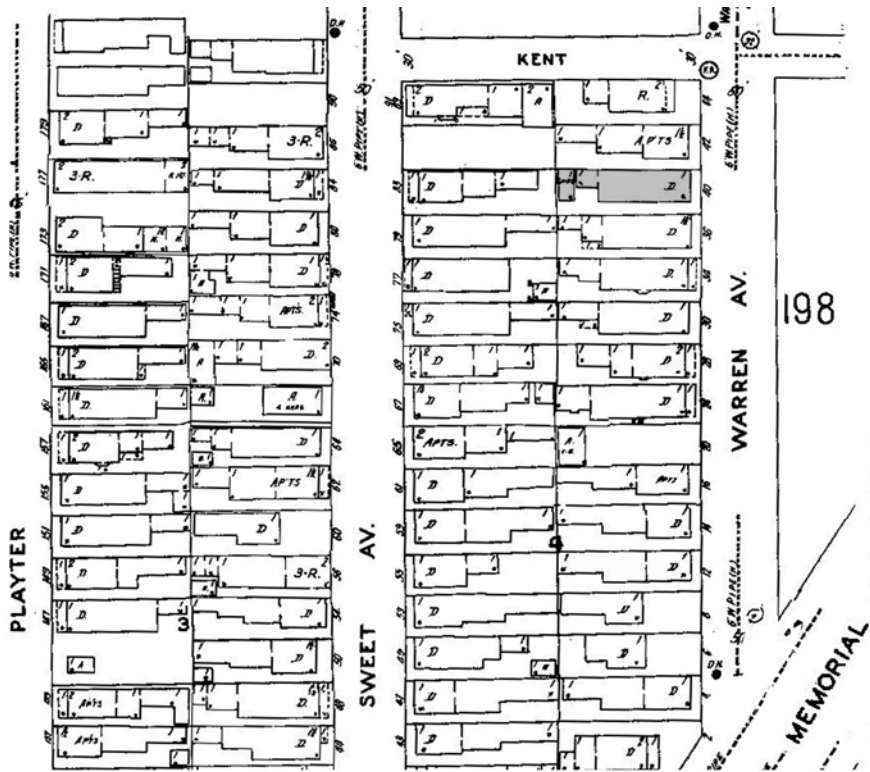
The multiple-family house at **40 Warren Street** is located on the west side of the block, just south of Kent Street. Warren Street is a two-block long, north-south street extending from Memorial Drive to Broadway. The New York Central terminal stands to the southwest. The property is located in the southern section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has an entry door and stoop in the north bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. Extending west from the west end of the main block is a one-story, gabled-roof addition. A side entrance is located on the south elevation at the junction of the main block and rear addition. A brick chimney rests on the off-center ridge.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 40 Warren Street is significant as a good representative example of an extended workers' cottage constructed just after the turn of the twentieth century. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 199



PHOTOGRAPH: (Broadway-Fillmore R-12; N-14)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 59 Warren Street
County Erie Town/City Buffalo Village/Hamlet: _____
Owner _____ Address _____
Original use Residence: single-family Current use Vacant
Architect/Builder, if known _____ Date of construction, if known 1907

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input checked="" type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

| | | | | |
|-------------|--------------------------------|--------------------------------|--|---|
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
|-------------|--------------------------------|--------------------------------|--|---|

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

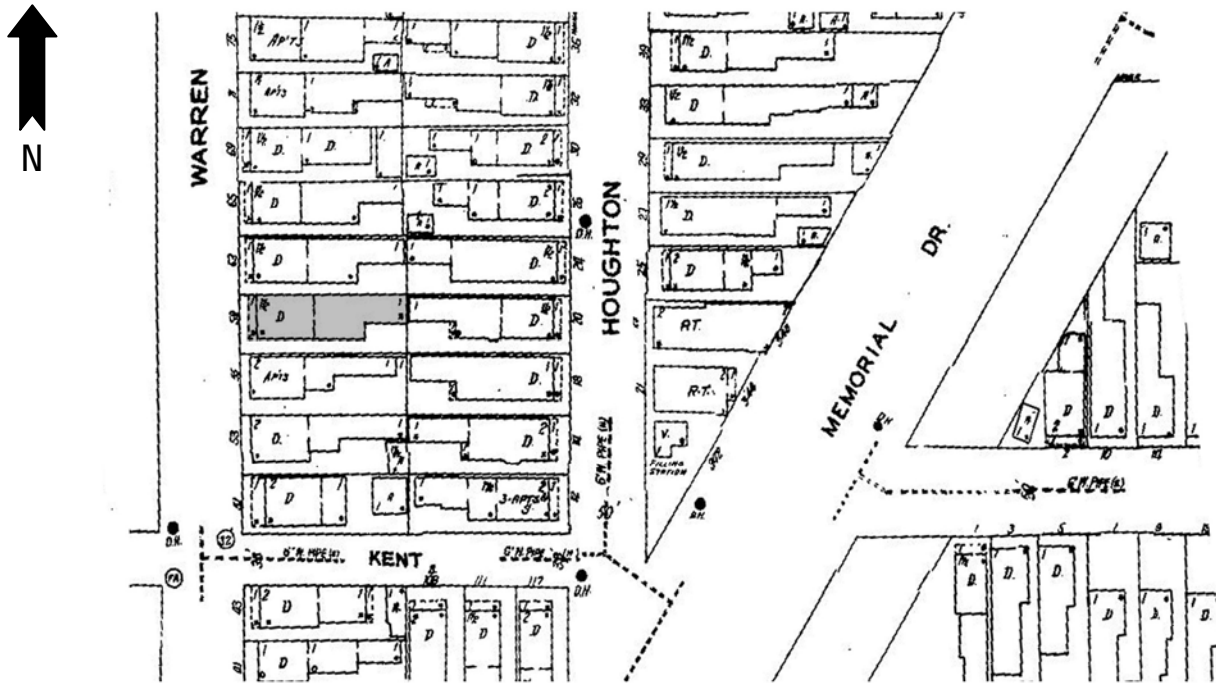
The building at **59 Warren Street** is located on the east side of the block, north of Kent Street. Warren Street is a two-block long, north-south street extending from Memorial Drive to Broadway. The New York Central terminal stands to the southwest. The property is located in the southern section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with square columns, an open wooden rail, and a pent roof. The entry door is located in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. All of the window and door openings in the ground floor are boarded. The gable end is sheathed with wood shingles and it features a recessed, paired window grouping corner boards, and a wide frieze. Extending east from the east end of the main block are two one-story, gabled-roof additions. A brick chimney rests on the center ridge of the main block and rear additions.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 59 Warren Street is significant as a good representative example of Craftsman, extended workers' cottage. It was built for Wojciech Nowicki. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 198



PHOTOGRAPH: (Broadway-Fillmore R-12; N-13)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 60 Warren Street
County Erie Town/City Buffalo Village/Hamlet: _____
Owner _____ Address _____
Original use Residence: single-family Current use Vacant
Architect/Builder, if known _____ Date of construction, if known ca. 1890

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input checked="" type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

| | | | | |
|-------------|--------------------------------|--------------------------------|--|---|
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
|-------------|--------------------------------|--------------------------------|--|---|

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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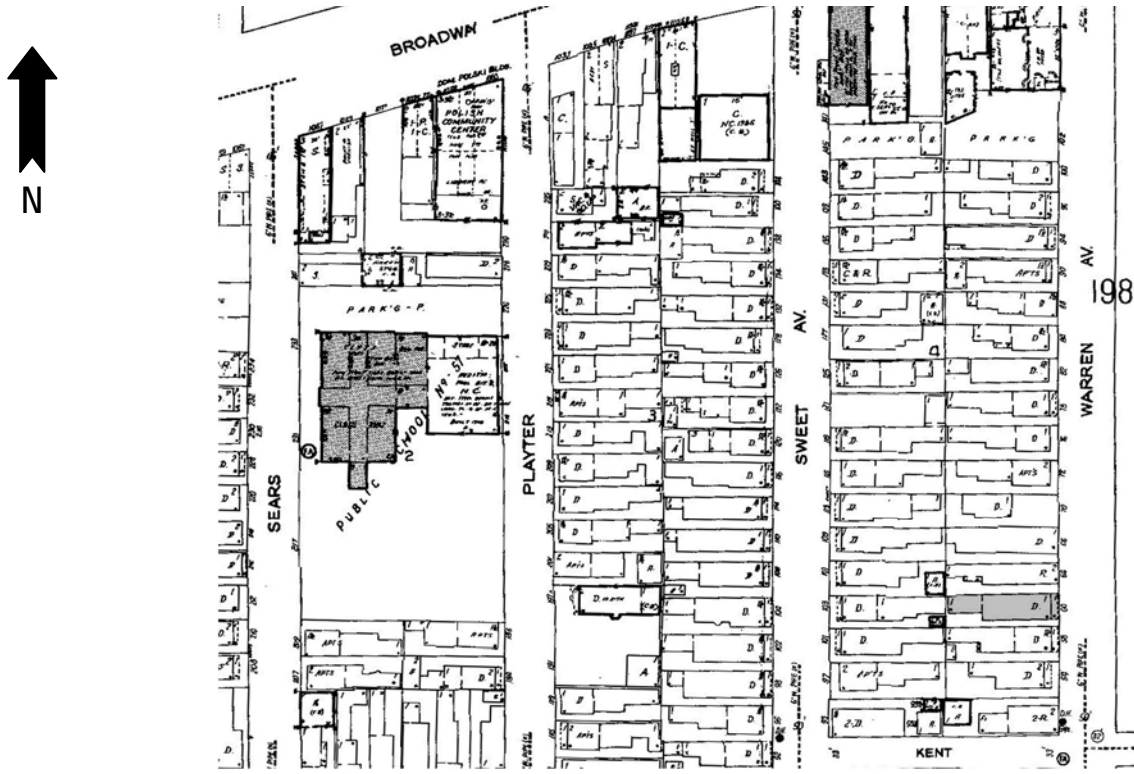
The building at **60 Warren Street** is located on the west side of the block, north of Kent Street. Warren Street is a two-block long, north-south street extending from Memorial Drive to Broadway. The New York Central terminal stands to the southwest. The property is located in the southern section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with rusticated concrete block foundation pedestals, battered piers, open wooden rail, and a gabled roof with exposed rafter tail ends and wood shingles. An entry door is located in the north bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. The ground floor window and door openings are presently boarded. Eastlake molding accents the gable end. Extending west from the west end of the main block is a one-story, gabled roof addition. A side entrance with a bracketed canopy is located on the south elevation.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 60 Warren Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with Eastlake and early twentieth century Craftsman detailing. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 197



PHOTOGRAPH: (Broadway-Fillmore R-12; N-12)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

| |
|-----------------|
| OFFICE USE ONLY |
| USN: _____ |

IDENTIFICATION

Property name (if any) _____

Address or Street Location 65 Warren Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known _____ Date of construction, if known ca. 1900

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

| | | | | |
|-------------|--------------------------------|--------------------------------|--|---|
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
|-------------|--------------------------------|--------------------------------|--|---|

Other materials and their location: _____

Alterations, if known: Replacement windows, addition (1907) Date: _____

Condition: excellent good fair deteriorated

Photos

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PLEASE PROVIDE THE FOLLOWING INFORMATION

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

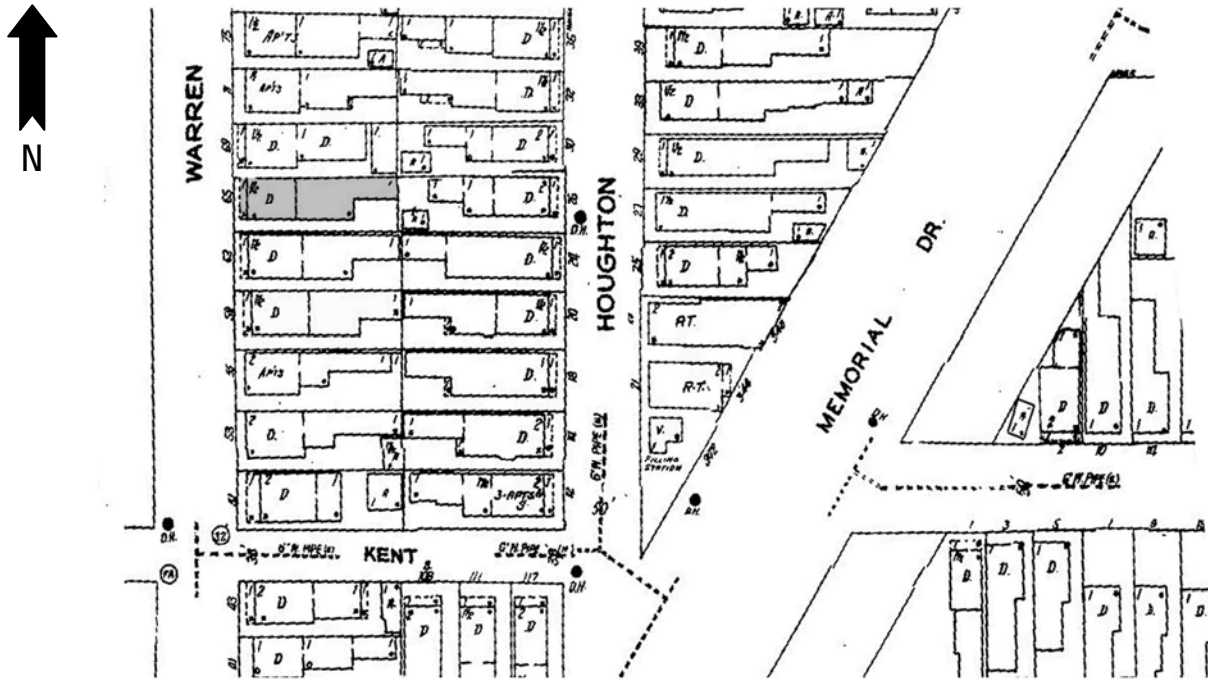
The single-family house at **65 Warren Street** is located on the east side of the block, north of Kent Street. Warren Street is a two-block long, north-south street extending from Memorial Drive to Broadway. The New York Central terminal stands to the southwest. The property is located in the southern section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with rusticated concrete block foundation, square posts, open wooden rail, and a hipped roof. An entry door is located in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. Extending east from the east end of the main block are two one-story, gabled roof additions. A brick chimney rests on the center ridge.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 65 Warren Street is significant as a good representative example of a ca. 1900, extended workers' cottage with early twentieth century Craftsman detailing. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 198



PHOTOGRAPH: (Broadway-Fillmore R-12; N-11)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

| |
|-----------------|
| OFFICE USE ONLY |
| USN: _____ |

IDENTIFICATION

Property name (if any) _____

Address or Street Location 69 Warren Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known _____ Date of construction, if known ca. 1900

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|---|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input checked="" type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

| | | | | |
|-------------|--------------------------------|--------------------------------|--|---|
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
|-------------|--------------------------------|--------------------------------|--|---|

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

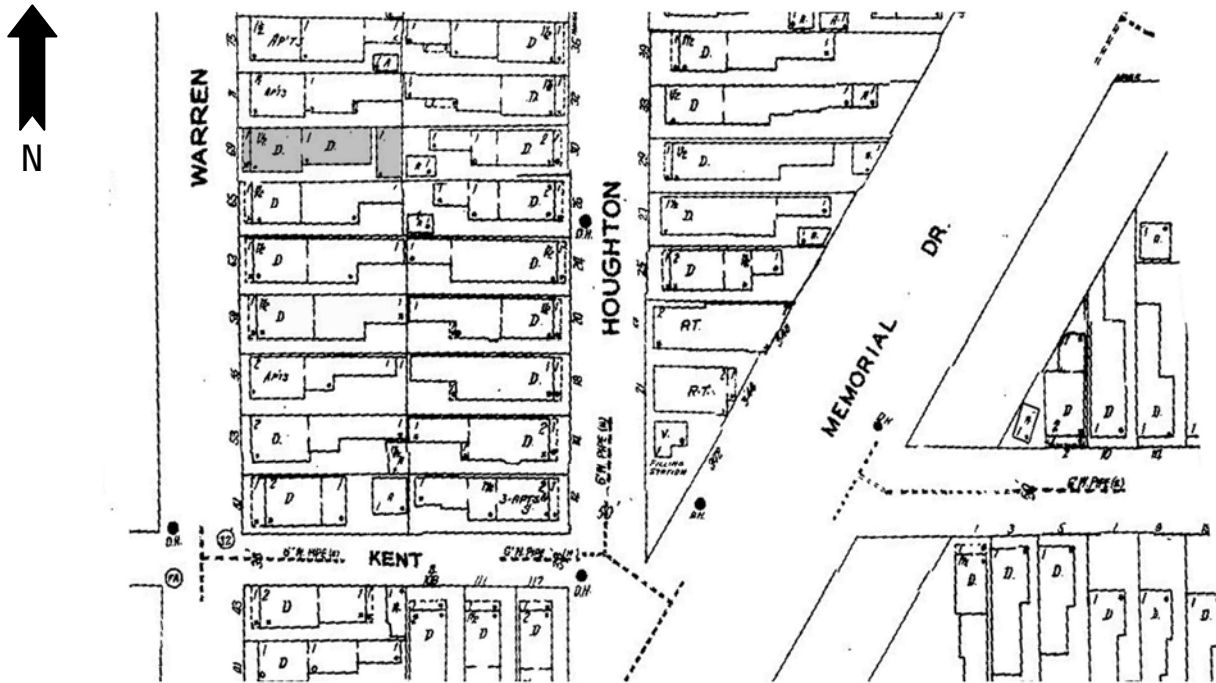
The multiple-family house at **69 Warren Street** is located on the east side of the block, north of Kent Street. Warren Street is a two-block long, north-south street extending from Memorial Drive to Broadway. The New York Central terminal stands to the southwest. The property is located in the southern section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with rusticated concrete block foundation and pedestals, paneled square piers, open wooden rail, and a hipped roof with brackets. An entry door is located in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard and asbestos shingle. Fenestration is one-over-one, double-hung wood sash. Extending east from the east end of the main block are a one-and-one-half story addition and a one-story addition. Shed roof dormers are located on the north and south slopes. A brick chimney rests on the center ridge.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 69 Warren Street is significant as a good representative example of a ca. 1900, extended workers' cottage with early twentieth century Craftsman detailing. This two-family house was enlarged to the rear for Szymon Sapanski in 1907. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 198



PHOTOGRAPH: (Broadway-Fillmore R-12; N-10)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

| |
|-----------------------------------|
| OFFICE USE ONLY USN: _____ |
|-----------------------------------|

IDENTIFICATION

Property name (if any) _____

Address or Street Location 76 Warren Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known _____ Date of construction, if known ca. 1890

DESCRIPTION

Materials – please check those materials that are visible

| | | | | | |
|-----------------|--|--|--|---|--------------------------------|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood | |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block | |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other | |
| Roof: | <input checked="" type="checkbox"/> asphalt, shingle | <input type="checkbox"/> asphalt, roll | <input type="checkbox"/> wood shingle | <input type="checkbox"/> metal | <input type="checkbox"/> slate |
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block | |

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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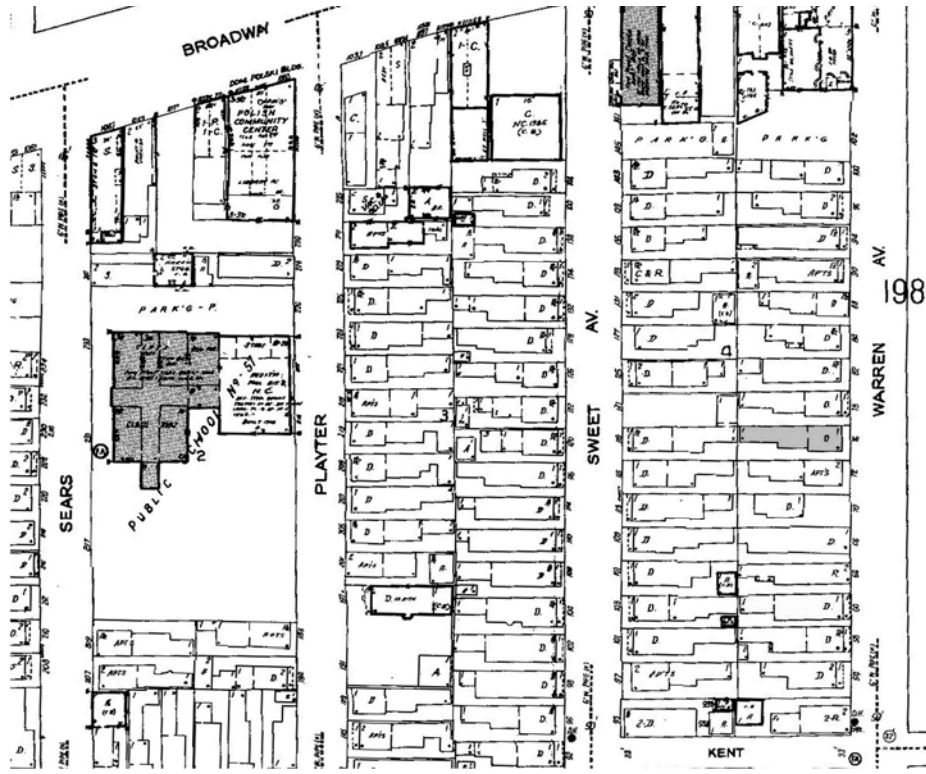
The multiple-family house at **76 Warren Street** is located on the west side of the block, north of Kent Street. Warren Street is a two-block long, north-south street extending from Memorial Drive to Broadway. The New York Central terminal stands to the southwest. The property is located in the southern section of the Broadway-Fillmore neighborhood.

A one-story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The entry door with replacement stoop is set in the north bay and a triple window grouping is located in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. Extending west from the west end of the main block is a one-story, gabled-roof addition. A brick chimney rests on the center ridge of the main block.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 76 Warren Street is significant as a good representative example of a late nineteenth century, extended workers' cottage. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 197



PHOTOGRAPH: (Broadway-Fillmore R-12; N-9)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 83 Warren Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: multiple-family Current use Residence: single-family

Architect/Builder, if known _____ Date of construction, if known ca. 1890

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input checked="" type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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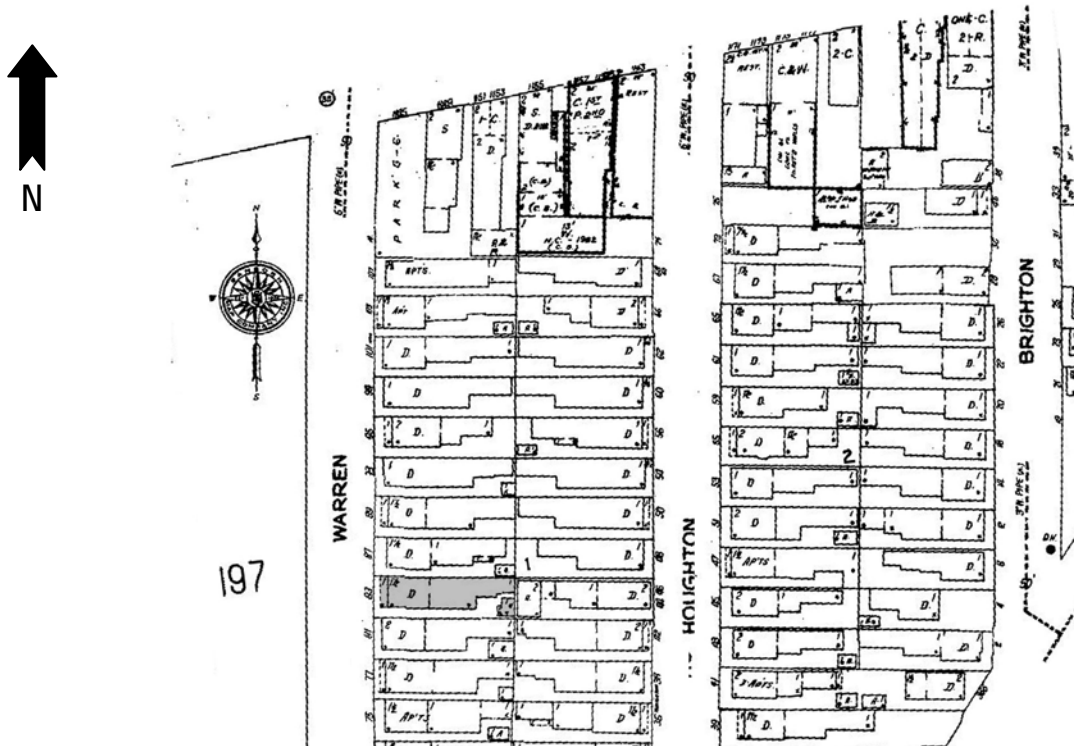
The single-family house at **83 Warren Street** is located on the east side of the block, north of Kent Street. Warren Street is a two-block long, north-south street extending from Memorial Drive to Broadway. The New York Central terminal stands to the southwest. The property is located in the southern section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with a wood-base, square battered columns, and a closed gable roof with wood shingle. A Craftsman entrance with $\frac{3}{4}$ sidelights is located in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard. Fenestration is three-, two- and one-over-one, double-hung wood sash. Eastlake molding accents the gable end. A gabled dormer rests on the north slope. Extending east from the east end of the main block is a one-story, gabled roof addition. A brick chimney rests on the center ridge.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 83 Warren Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with Eastlake and early twentieth century Craftsman detailing. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 198



PHOTOGRAPH: (Broadway-Fillmore R-12; N-8)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

| |
|-----------------|
| OFFICE USE ONLY |
| USN: _____ |

IDENTIFICATION

Property name (if any) _____

Address or Street Location 94 Warren Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: multiple-family Current use Residence: single-family

Architect/Builder, if known _____ Date of construction, if known ca. 1885

DESCRIPTION

Materials – please check those materials that are visible

| | | | | | |
|-----------------|--|--|--|---|--------------------------------|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood | |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block | |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other | |
| Roof: | <input checked="" type="checkbox"/> asphalt, shingle | <input type="checkbox"/> asphalt, roll | <input type="checkbox"/> wood shingle | <input type="checkbox"/> metal | <input type="checkbox"/> slate |
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block | |

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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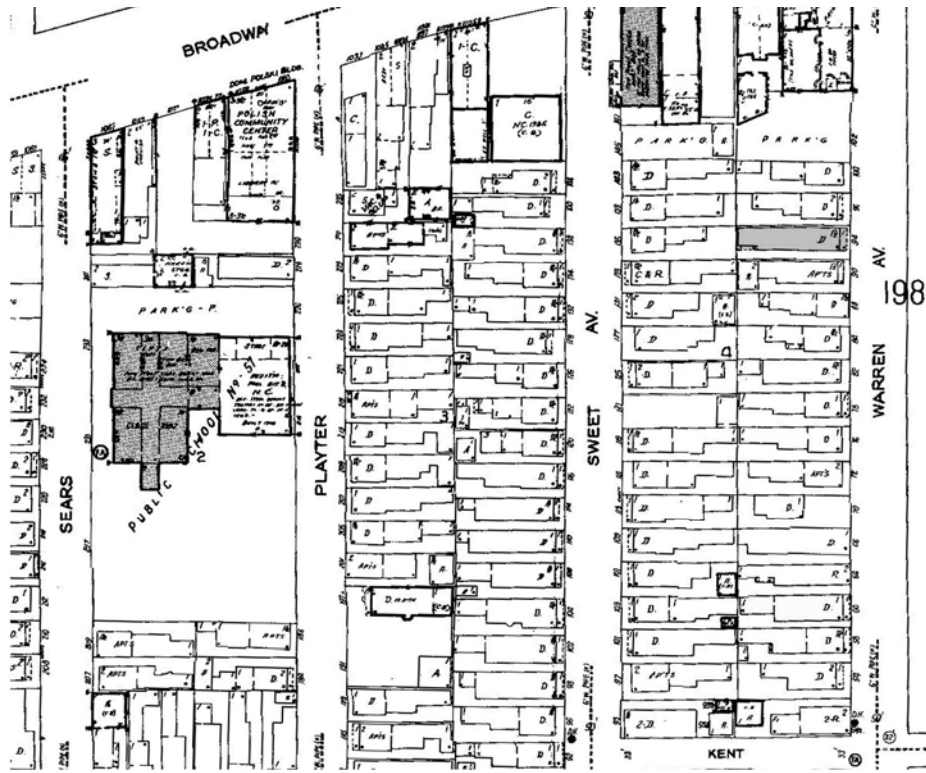
The single-family house at **94 Warren Street** is located on the west side of the block, north of Kent Street. Warren Street is a two-block long, north-south street extending from Memorial Drive to Broadway. The New York Central terminal stands to the southwest. The property is located in the southern section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with rusticated concrete block foundation and pedestals, battered paneled piers columns, open wooden rail, and a hipped roof with exposed rafter tail ends. The entrance door is located in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. The south elevation has a side entrance. A shed dormer rests on the south slope. Extending west from the west end of the main block is a one-story, gabled roof addition with a gabled dormer. A concrete block chimney rests on the center ridge.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 94 Warren Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with early twentieth century Craftsman detailing. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 197



PHOTOGRAPH: (Broadway-Fillmore R-12; N-7)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 96 Warren Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: multiple-family Current use Vacant

Architect/Builder, if known _____ Date of construction, if known ca. 1905

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|---|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input checked="" type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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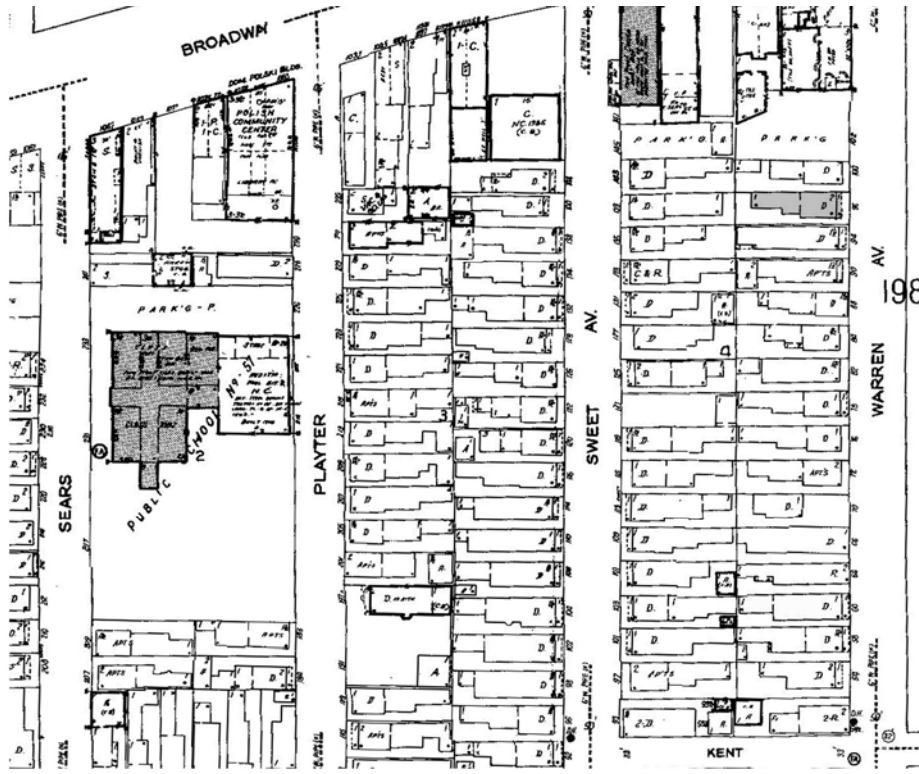
The multiple-family house at **96 Warren Street** is located on the west side of the block, just south of Broadway. Warren Street is a two-block long, north-south street extending from Memorial Drive to Broadway. The New York Central terminal stands to the southwest. The property is located in the southern section of the Broadway-Fillmore neighborhood.

A two-and-one-half story, closed-gabled, frame, vernacular residence with no foundation. It has a rectangular plan. Exterior wall fabrics are clapboard on the main block and asbestos shingle in the gable end. The façade has a full-width porch with columns with ionic capitols, a spindlework balustrade, pediment above the entry bay, and a pent roof with modillion course. The entrance is located in the north bay. All of the window and door openings in the first floor are presently boarded. Fenestration is symmetrical featuring one-over-one double-hung sash. A one story addition extends west from the west end of the main block. Two brick chimneys rest on the roof ridge.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at **96 Warren Street** is significant as a a good representative example of a two-and-one-half story, extended workers' cottage that was constructed just after the turn of the twentieth century. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 197



PHOTOGRAPH: (Broadway-Fillmore R-12; N-6)





HISTORIC RESOURCE INVENTORY FORM

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P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

| |
|-----------------|
| OFFICE USE ONLY |
| USN: _____ |

IDENTIFICATION

Property name (if any) _____

Address or Street Location 100 Warren Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known _____ Date of construction, if known ca. 1890

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

| | | | | |
|-------------|--------------------------------|--------------------------------|--|---|
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
|-------------|--------------------------------|--------------------------------|--|---|

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

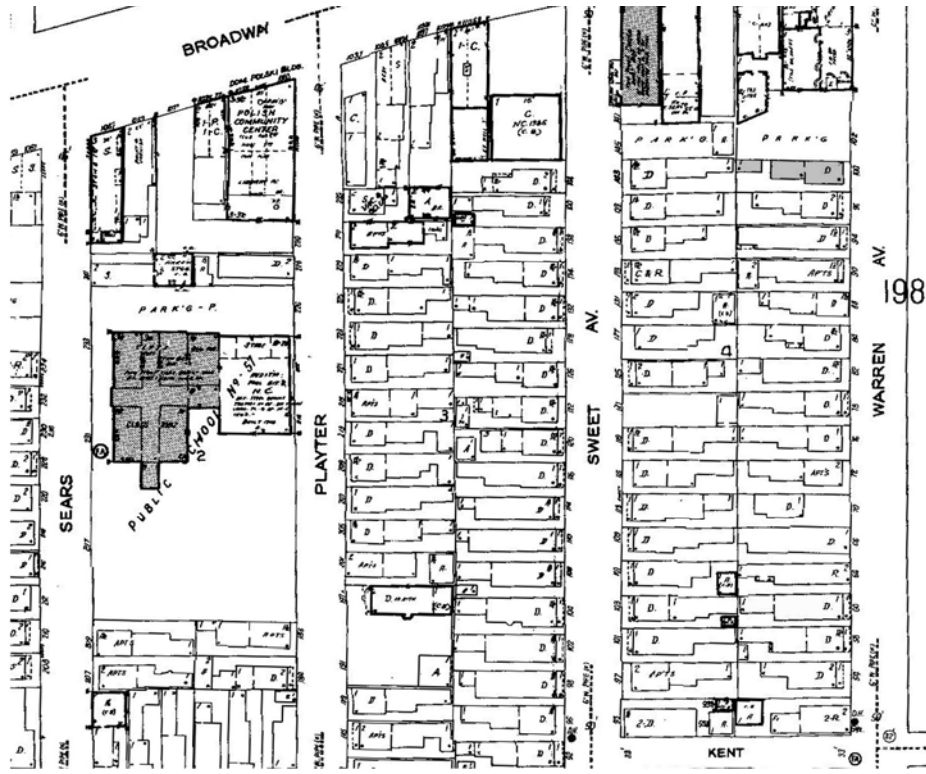
The multiple-family house at **100 Warren Street** is located on the west side of the block, just south of Broadway. Warren Street is a two-block long, north-south street extending from Memorial Drive to Broadway. The New York Central terminal stands to the southwest. The property is located in the southern section of the Broadway-Fillmore neighborhood.

A two-and-one-half story, closed-gabled, frame, vernacular residence with no foundation. It has a rectangular plan. Exterior wall fabrics are clapboard on the main block and asbestos shingle in the gable end. The façade has entrance with stoop in the north bay and triple-window grouping in the south bay. Fenestration is one-over-one double-hung sash. A one-story addition extends west from the west end of the main block. A brick chimney rests on the roof ridge.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 100 Warren Street is significant as a good representative example of a two-and-one-half story, extended workers' cottage that was constructed in the last decade of the nineteenth century. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 197



PHOTOGRAPH: (Broadway-Fillmore R-12; N-5)





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| |
|-----------------|
| OFFICE USE ONLY |
| USN: _____ |

IDENTIFICATION

Property name (if any) _____

Address or Street Location 743 William Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Commercial Current use Vacant

Architect/Builder, if known _____ Date of construction, if known ca. 1935

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|---|--|--|--|
| Exterior Walls: | <input type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input checked="" type="checkbox"/> other stucco |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

| | | | | |
|-------------|--------------------------------|--------------------------------|--|---|
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
|-------------|--------------------------------|--------------------------------|--|---|

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

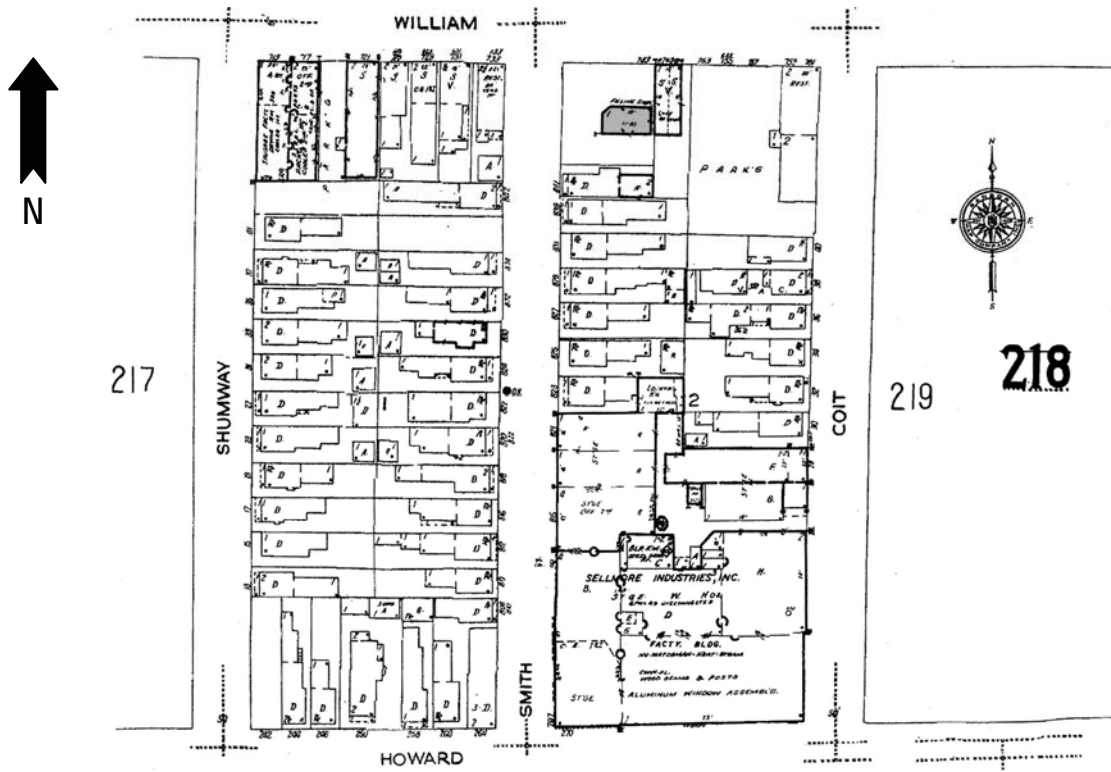
The building at **743 William Street** is located on the southwest corner of William and Smith streets. The property is located in the southwest corner of the Broadway-Fillmore neighborhood. William Street is one of the principal east-west streets radiating from the center of downtown Buffalo, and it forms the southern edge of the neighborhood. Horse-drawn streetcars appeared on William Street in the 1870s. Most of the smaller, north-south streets in the area between Best Street on the north and William Street on the south were laid out as in parallel rows beginning in the 1870s, when residential development of the area commenced.

A one-story, flat-roofed building with canted entrance bay flanked by display windows. The roofline features Spanish Colonial inspired pantile pent and parapets with clay tile coping. The north elevation features two service bays and the west elevation has a single service bay. Window openings and all but one service bay are presently boarded.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 743 William Street is significant as a good representative example of a service station constructed in the mid-1930s in the Broadway-Fillmore neighborhood. The gas station, also called the filling or service station, developed in the early twentieth century to provide fuel and other automobile products at a convenient location for the growing number of car owners. During the 1920s, oil companies began constructing gas stations in residential neighborhoods. These small buildings reflected the popular residential architectural styles of the period; the Colonial Revival, Craftsman, and cottage variant of Tudor Revival styles were favored for exterior detailing.

MAP: Sanborn Map (Revised 1986) – Plate



PHOTOGRAPH: (Broadway-Fillmore R-13; N-1)





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(518) 237-8643

| |
|-----------------------------------|
| OFFICE USE ONLY USN: _____ |
|-----------------------------------|

IDENTIFICATION

Property name (if any) _____

Address or Street Location 42 Wilson Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: multiple-family Current use Residence: single-family

Architect/Builder, if known _____ Date of construction, if known ca. 1880

DESCRIPTION

Materials – please check those materials that are visible

| | | | | | |
|-----------------|--|--|--|---|--------------------------------|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood | |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block | |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other | |
| Roof: | <input checked="" type="checkbox"/> asphalt, shingle | <input type="checkbox"/> asphalt, roll | <input type="checkbox"/> wood shingle | <input type="checkbox"/> metal | <input type="checkbox"/> slate |
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block | |

Other materials and their location: _____

Alterations, if known: Replacement windows, addition (1920) Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

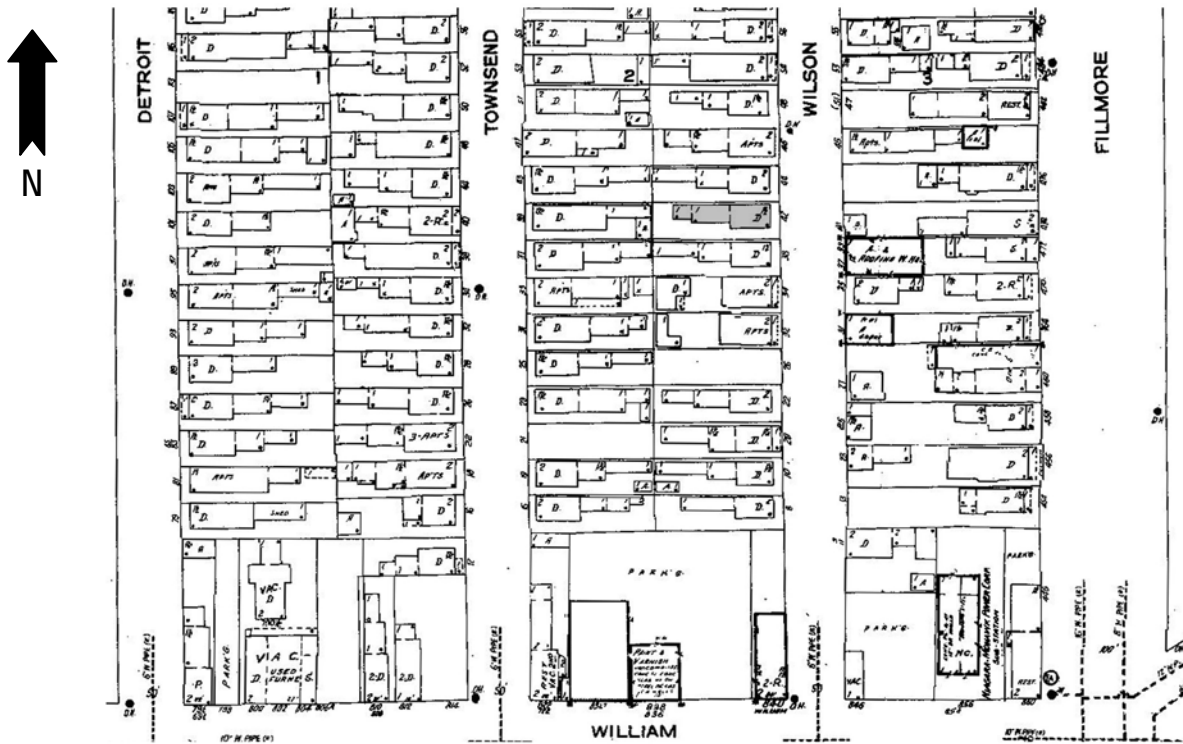
The single-family house at **42 Wilson Street** is located on the west side of the street, north of William Street. Wilson Street is a six-block long, north-south residential street spanning from William Street to Genesee Street. Most of the smaller, north-south streets in the area between Best Street on the north and William Street on the south were laid out as in parallel rows beginning in the 1870s, when residential development of the area commenced. The property is located in the southwest corner of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the south.

A one-and-one-half story, front-gabled, frame, workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with rusticated concrete block foundation and pedestals, square paneled piers, open wooden rail, and a hipped roof. An entry door is located in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. Extending west from the west end of the main block is a one-story, gabled-roof addition. Side entrances are located on the south elevation. A brick chimney rests on the center ridge.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 42 Wilson Street is significant as a good representative example of ~~as~~ a good representative example of a late nineteenth century, extended workers' cottage with early twentieth century Craftsman detailing. It received an addition in 1920. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 210



PHOTOGRAPH: (Broadway-Fillmore R-5; N-28)





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(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 53 Wilson Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Commercial and Residence: single-family Current use Residence: single-family

Architect/Builder, if known _____ Date of construction, if known ca. 1880

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: enlarged Date: 1904

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

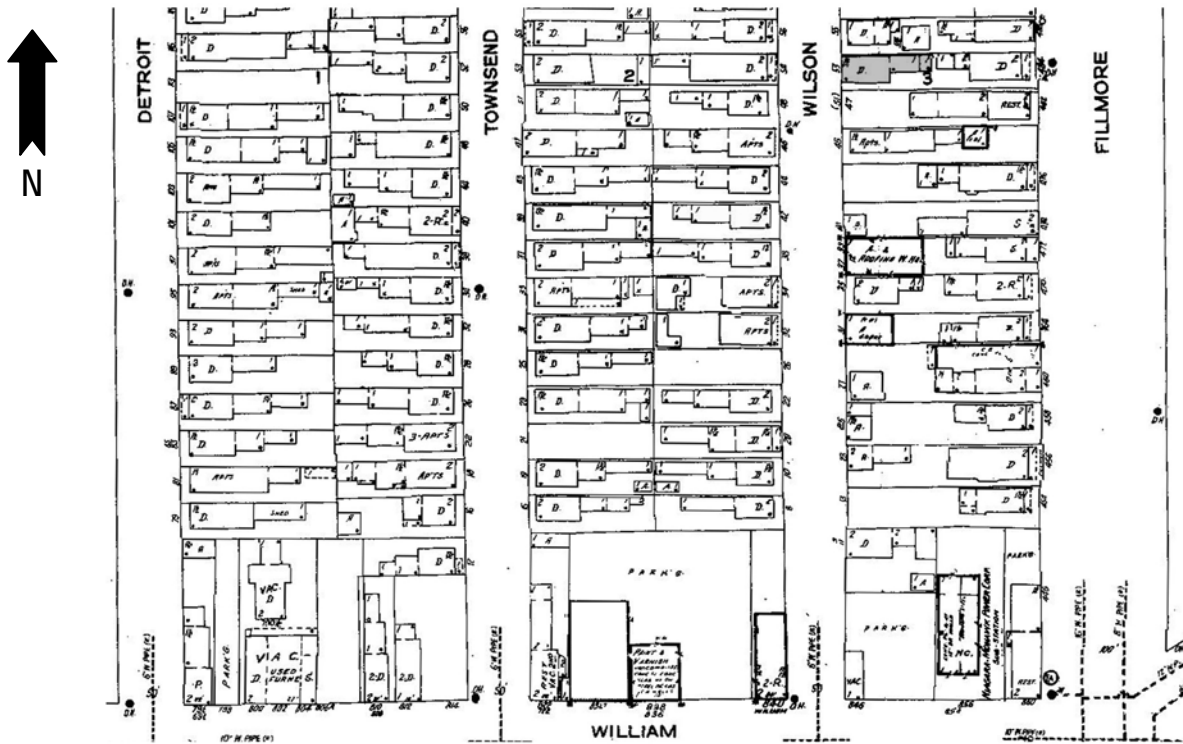
The single-family house at **53 Wilson Street** is located on the east side of the street, north of William Street. Wilson Street is a six-block long, north-south residential street spanning from William Street to Genesee Street. Most of the smaller, north-south streets in the area between Best Street on the north and William Street on the south were laid out as in parallel rows beginning in the 1870s, when residential development of the area commenced. The property is located in the southwest corner of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the north.

A one-and one-half story, frame, extended workers' cottage. It has a rectangular plan and no foundation. The main entrance is located on the south elevation. Exterior fabric is clapboard. Fenestration is three- and one-over-one double-hung wood sash. A one-story, gabled addition extends east from the east end of the main block. A brick chimney rests on the center ridges of the main block and rear addition.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 53 Wilson Street is significant as a good representative example of a late nineteenth century, extended workers' cottage. Originally a store and dwelling, it was enlarged for Frank Dubisz in 1904. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 210



PHOTOGRAPH: (Broadway-Fillmore R-6; N-3)





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| |
|-----------------|
| OFFICE USE ONLY |
| USN: _____ |

IDENTIFICATION

Property name (if any) _____

Address or Street Location 192 Wilson Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known _____ Date of construction, if known ca. 1885

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

| | | | | |
|-------------|--------------------------------|--------------------------------|--|---|
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
|-------------|--------------------------------|--------------------------------|--|---|

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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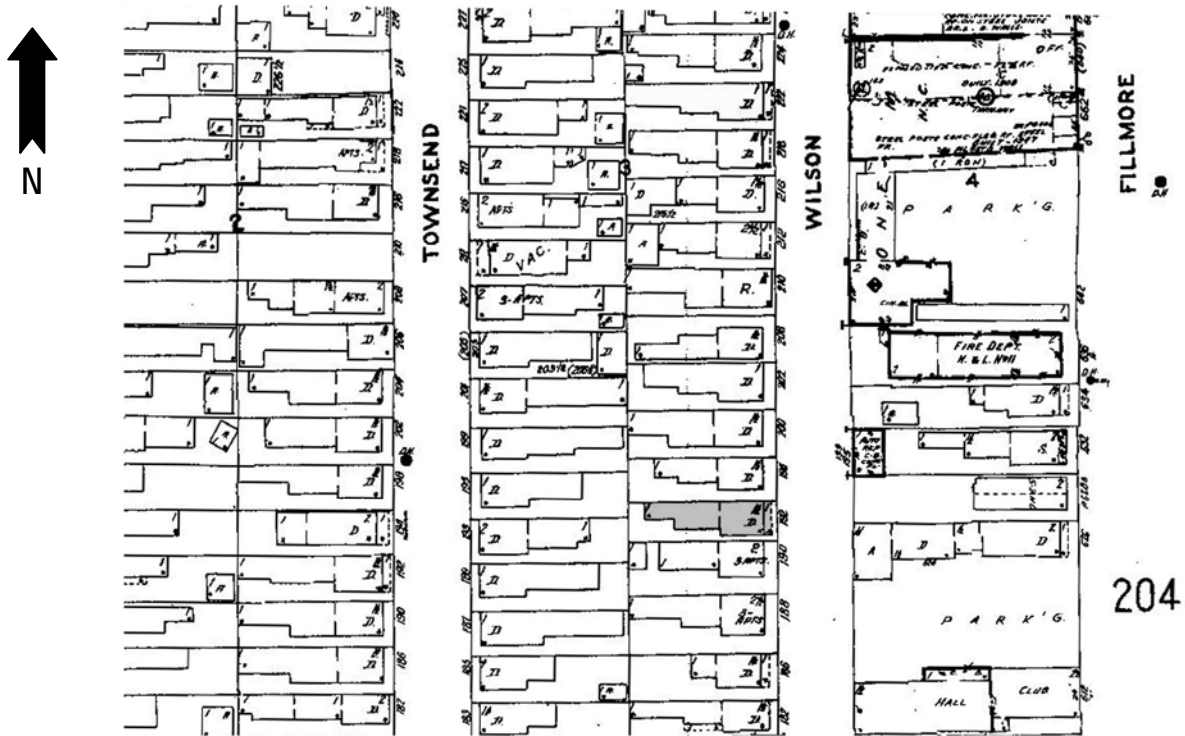
The multiple-family house at **192 Wilson Street** is located on the west side of the street, north of Paderewski Drive. Wilson Street is a six-block long, north-south residential street spanning from William Street to Genesee Street. Most of the smaller, north-south streets in the area between Best Street on the north and William Street on the south were laid out as in parallel rows beginning in the 1870s, when residential development of the area commenced. The property is located in the southwest corner of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with rusticated concrete block foundation and pedestals, square paneled piers, open wooden rail, and a hipped roof with brackets. An entry door is located in the north bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. Shed dormers rest on the north and south slopes. Extending west from the west end of the main block is a one-story, gabled-roof addition. A brick chimney rests on the center ridge.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at **192 Wilson Street** is significant as a good representative example of a late nineteenth century, extended workers' cottage with early twentieth century Craftsman detailing. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 195



PHOTOGRAPH: (Broadway-Fillmore R-5; N-29)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 222 Wilson Street
County Erie Town/City Buffalo Village/Hamlet: _____
Owner _____ Address _____
Original use Residence: multiple-family Current use Residence: multiple-family
Architect/Builder, if known _____ Date of construction, if known ca. 1885

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

| | | | | |
|-------------|--------------------------------|--------------------------------|--|---|
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
|-------------|--------------------------------|--------------------------------|--|---|

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

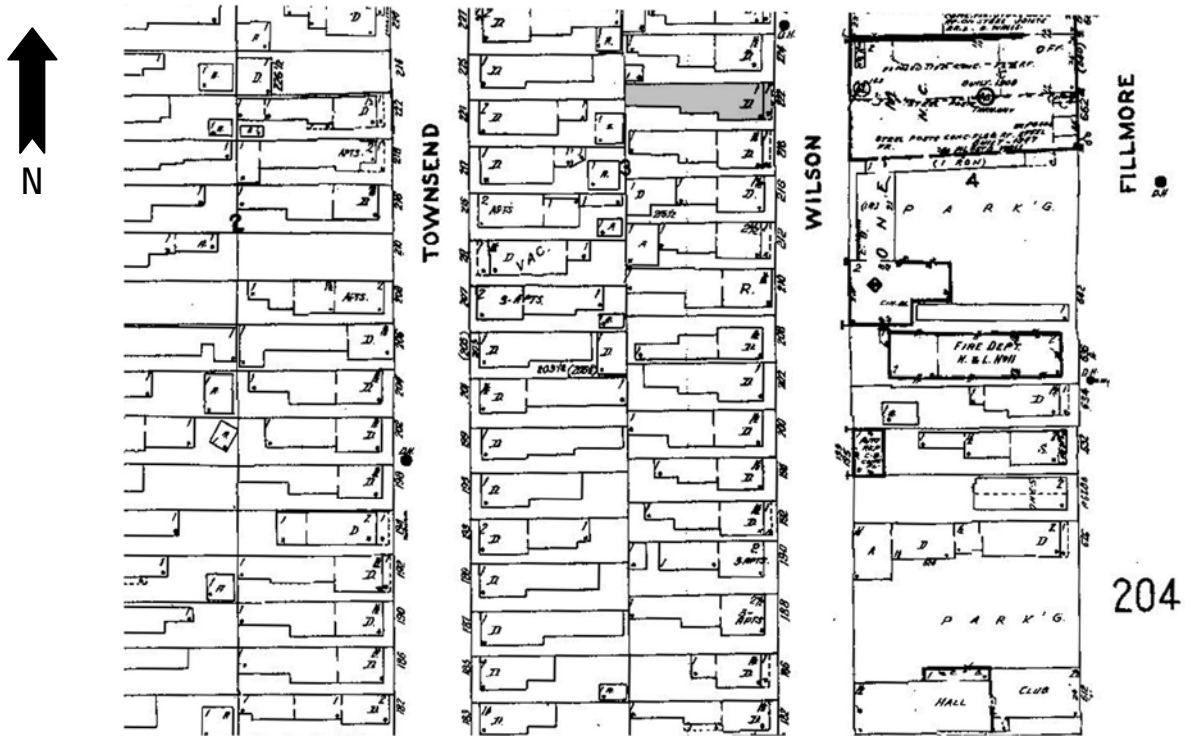
The multiple-family house at **222 Wilson Street** is located on the west side of the street, north of Paderewski Drive. Wilson Street is a six-block long, north-south residential street spanning from William Street to Genesee Street. Most of the smaller, north-south streets in the area between Best Street on the north and William Street on the south were laid out as in parallel rows beginning in the 1870s, when residential development of the area commenced. The property is located in the southwest corner of the Broadway-Fillmore neighborhood. A

A one-and-one-half story, front-gabled, frame, workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with replacement rail and supports. It has an off-center entrance door, and a triple-window grouping in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. Extending west from the west end of the main block is a one story addition with a shed dormer.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at **222 Wilson Street** is significant as a good representative example of a late nineteenth century, extended workers' cottage. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 195



PHOTOGRAPH: (Broadway-Fillmore R-5; N-30)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

| |
|-----------------------------------|
| OFFICE USE ONLY USN: _____ |
|-----------------------------------|

IDENTIFICATION

Property name (if any) _____

Address or Street Location 226 Wilson Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known _____ Date of construction, if known ca. 1885

DESCRIPTION

Materials – please check those materials that are visible

| | | | | | |
|-----------------|--|--|--|---|--------------------------------|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood | |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block | |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other | |
| Roof: | <input checked="" type="checkbox"/> asphalt, shingle | <input type="checkbox"/> asphalt, roll | <input type="checkbox"/> wood shingle | <input type="checkbox"/> metal | <input type="checkbox"/> slate |
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block | |

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

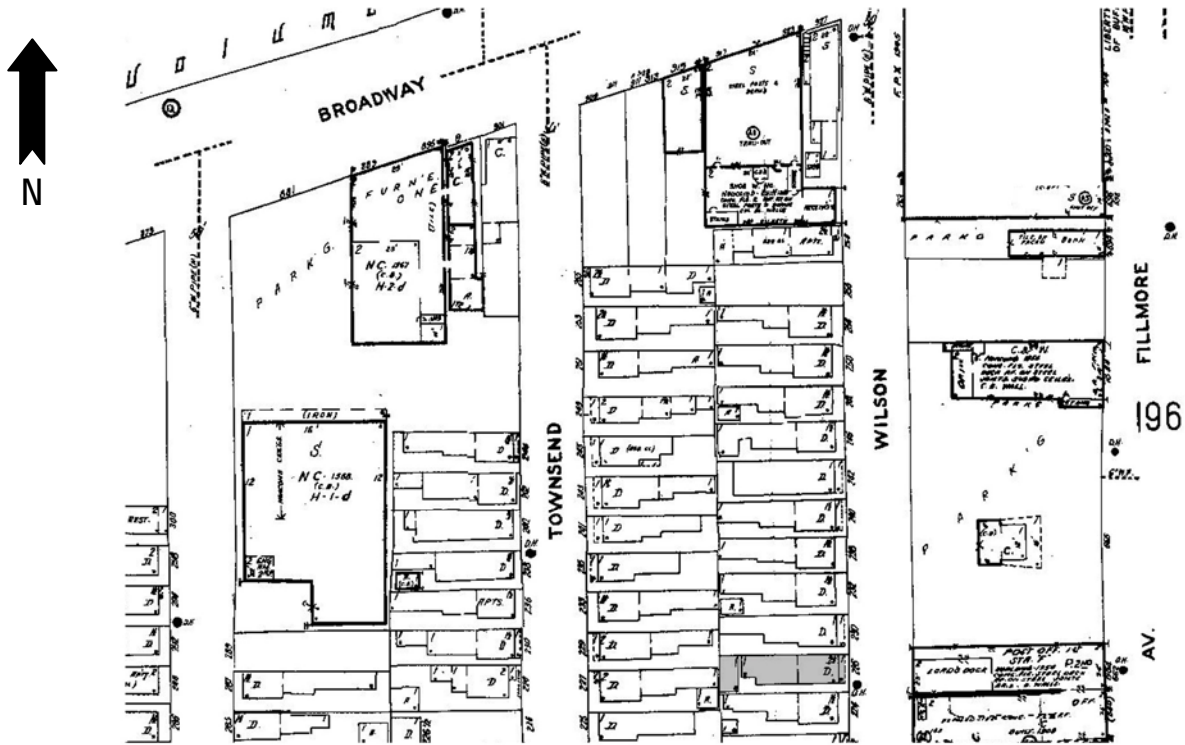
The multiple-family house at **226 Wilson Street** is located on the west side of the street, north of Paderewski Drive. Wilson Street is a six-block long, north-south residential street spanning from William Street to Genesee Street. Most of the smaller, north-south streets in the area between Best Street on the north and William Street on the south were laid out as in parallel rows beginning in the 1870s, when residential development of the area commenced. The property is located in the southwest corner of the Broadway-Fillmore neighborhood.

A two-and-one-half story, front-gabled residence with Craftsman detailing. It has a full-width porch with rusticated concrete foundation and pedestals, battered piers, replacement wooden rail, and a flat roof. A Craftsman-style entrance door is located in the north bay and a triple-window grouping is set in the south bay. The upper façade has an open porch with replacement balustrade and an entrance in the north bay. Fenestration is one-over-one-double-hung wood sash and casement. Exterior fabric is clapboard. A one-story addition extends west from the west end of the main block.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at **226 Wilson Street** is significant as a good representative example of a late nineteenth century, extended workers' cottage with early twentieth century Craftsman detailing. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 195



PHOTOGRAPH: (Broadway-Fillmore R-5; N-31)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 242 Wilson Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: single-family Current use Vacant

Architect/Builder, if known _____ Date of construction, if known ca. 1885

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: Replacement windows, addition (1926) Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

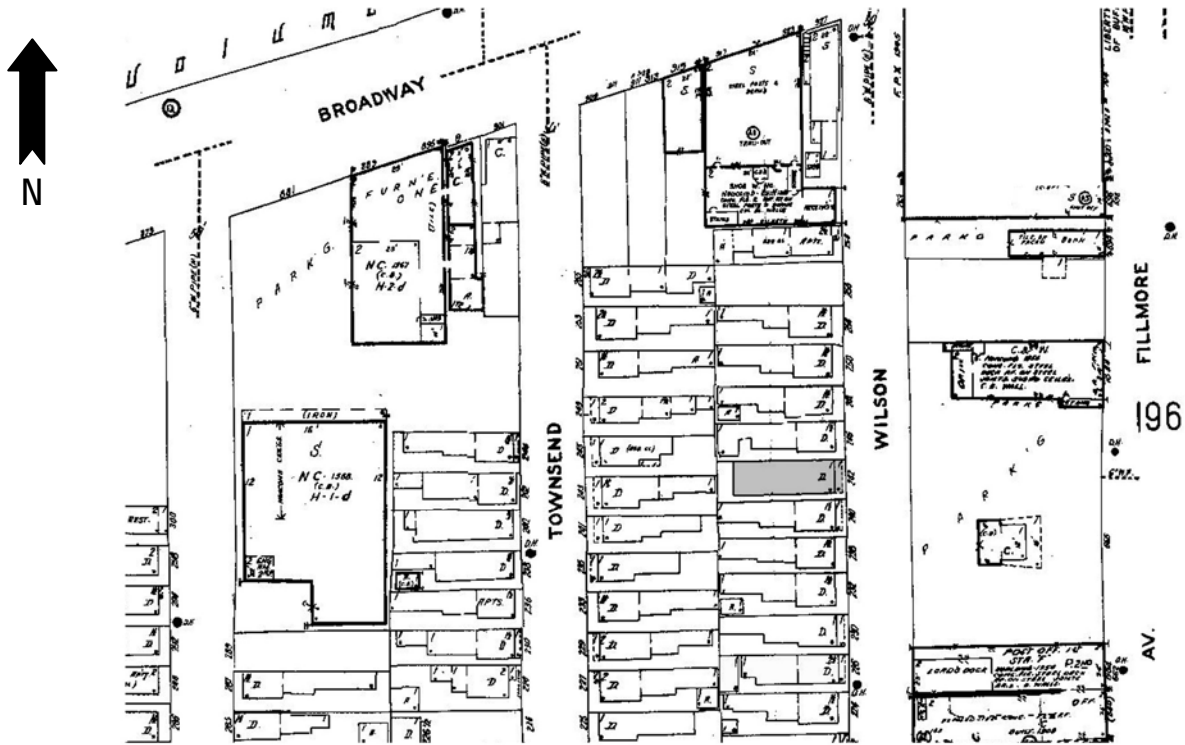
The building at **242 Wilson Street** is located on the west side of the street, north of Broadway. Wilson Street is a six-block long, north-south residential street spanning from William Street to Genesee Street. Most of the smaller, north-south streets in the area between Best Street on the north and William Street on the south were laid out in parallel rows beginning in the 1870s, when residential development of the area commenced. The property is located in the southwest corner of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled residence with Craftsman detailing. It has a full-width porch with a wood-shingled base, battered paneled columns, an open wooden rail, and a hipped-roof. An entrance is located in the north bay. All of the window and door openings of the ground floor are boarded.. Fenestration is one-over-one-double-hung wood sash casement. Exterior fabric is clapboard. A one-story addition extends west from the west end of the main block. A side entrance is located on south elevation and a gabled dormer rests on the south slope. Three brick chimneys are set on the roof ridge.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at **242 Wilson Street** is significant as a good representative example of a late nineteenth century, extended workers' cottage with early twentieth century Craftsman detailing. It received an addition in 1926. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 195



PHOTOGRAPH: (Broadway-Fillmore R-5; N-32)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

| |
|-----------------|
| OFFICE USE ONLY |
| USN: _____ |

IDENTIFICATION

Property name (if any) _____

Address or Street Location 314 Wilson Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known _____ Date of construction, if known 1895

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

| | | | | |
|-------------|--------------------------------|--------------------------------|--|---|
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
|-------------|--------------------------------|--------------------------------|--|---|

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

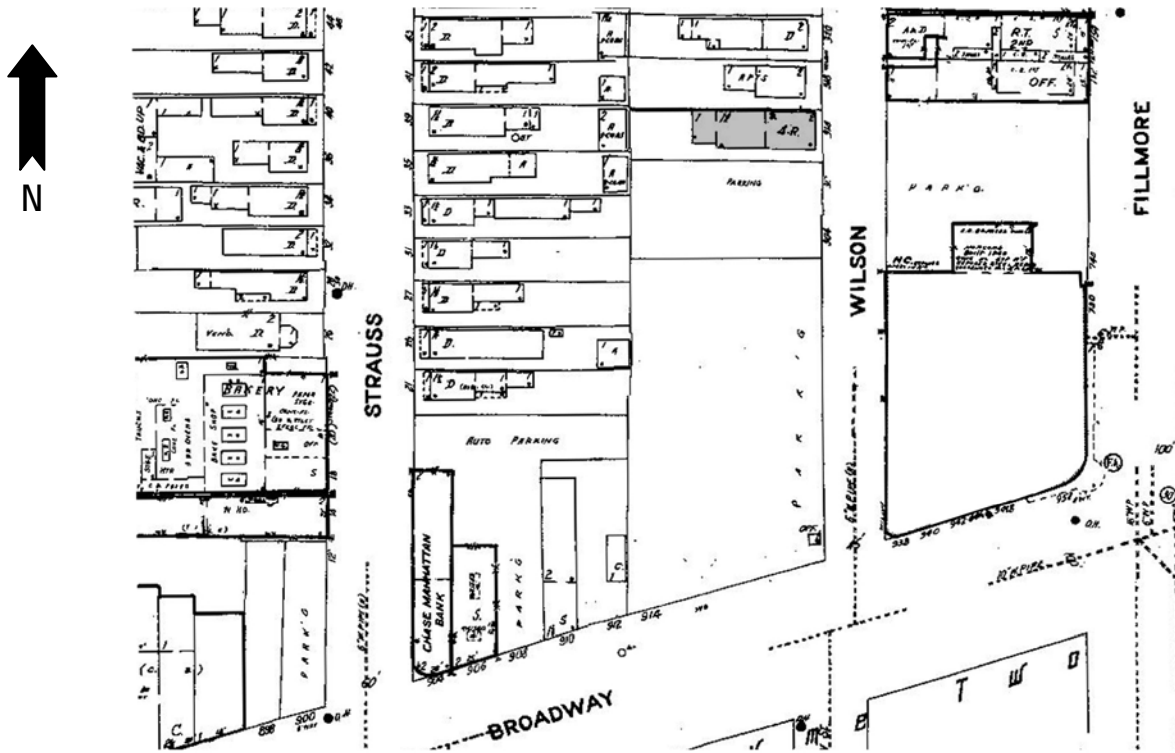
The multiple-family house at **314 Wilson Street** is located on the west side of the street, north of Paderewski Drive. Wilson Street is a six-block long, north-south residential street spanning from William Street to Genesee Street. Most of the smaller, north-south streets in the area between Best Street on the north and William Street on the south were laid out as in parallel rows beginning in the 1870s, when residential development of the area commenced. The property is located in the southwestern section of the Broadway-Fillmore neighborhood.

A two-story, front-gabled, extended workers' cottage with Eastlake window and door surrounds. It has a rectangular plan and no foundation. Paired entrance doors are located in the north bay. Exterior fabric is clapboard. Fenestration is one-over-one and two-over-two double-hung wood sash. Eastlake molding accents the gable end. Two gabled, one-story additions extend west from the west end of the main block. A small shed dormer is attached to the end of the rear addition. A brick chimney rests on the center ridge of the main block and the smaller gable addition has a brick chimney on the roof ridge.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 314 Wilson Street is significant as an excellent example of a mostly-intact, extended workers' cottage with Eastlake details. It was built for John Maunzowski, and converted into a six-family tenement in 1938. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 254



PHOTOGRAPH: (Broadway-Fillmore R-5; N-33)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

| |
|-----------------|
| OFFICE USE ONLY |
| USN: _____ |

IDENTIFICATION

Property name (if any) _____

Address or Street Location 422 Wilson Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: multiple-family Current use Residence: single-family

Architect/Builder, if known _____ Date of construction, if known ca. 1890

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

| | | | | |
|-------------|--------------------------------|--------------------------------|--|---|
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
|-------------|--------------------------------|--------------------------------|--|---|

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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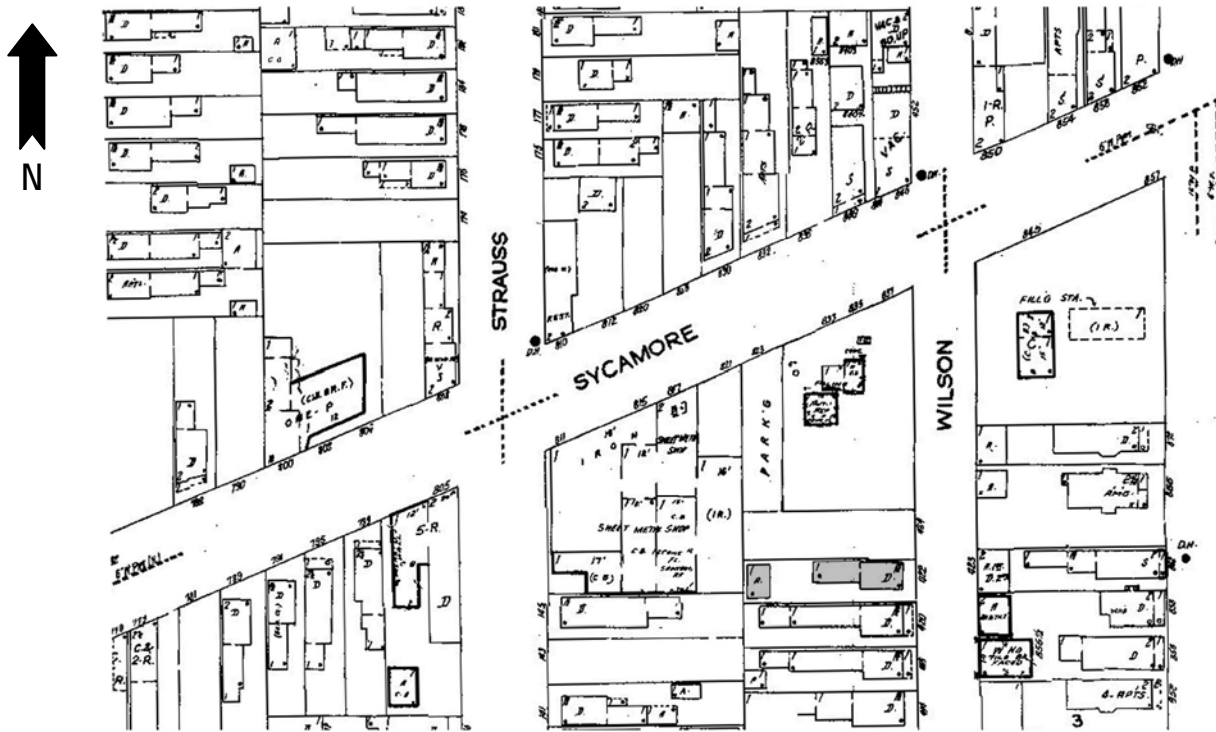
The single-family house at **422 Wilson Street** is located on the west side of the street, just south of Sycamore Street. Wilson Street is a six-block long, north-south residential street spanning from William Street to Genesee Street. Most of the smaller, north-south streets in the area between Best Street on the north and William Street on the south were laid out as in parallel rows beginning in the 1870s, when residential development of the area commenced. The property is located in the western central section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has an entry door with a modern entry porch in the north bay and a triple window grouping in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one and two-over-two double-hung wood sash. Eastlake molding accents the gable end. Extending west from the west end of the main block is a one-story, gabled-roof addition with shed dormer, and a brick chimney on the center ridge. A brick chimney rests on the center ridge of the main block

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 422 Wilson Street is significant as a good representative example a late nineteenth century, extended workers' cottage. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1886) – Plate 267



PHOTOGRAPH: (Broadway-Fillmore R-5; N-36)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

| |
|-----------------|
| OFFICE USE ONLY |
| USN: _____ |

IDENTIFICATION

Property name (if any) _____

Address or Street Location 496 Wilson Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known _____ Date of construction, if known ca. 1880

DESCRIPTION

Materials – please check those materials that are visible

| | | | | | |
|-----------------|--|--|--|--|--------------------------------|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood | |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block | |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other | |
| Roof: | <input checked="" type="checkbox"/> asphalt, shingle | <input type="checkbox"/> asphalt, roll | <input type="checkbox"/> wood shingle | <input type="checkbox"/> metal | <input type="checkbox"/> slate |
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input checked="" type="checkbox"/> concrete block | |

Other materials and their location: _____

Alterations, if known: front addition Date: 1885

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

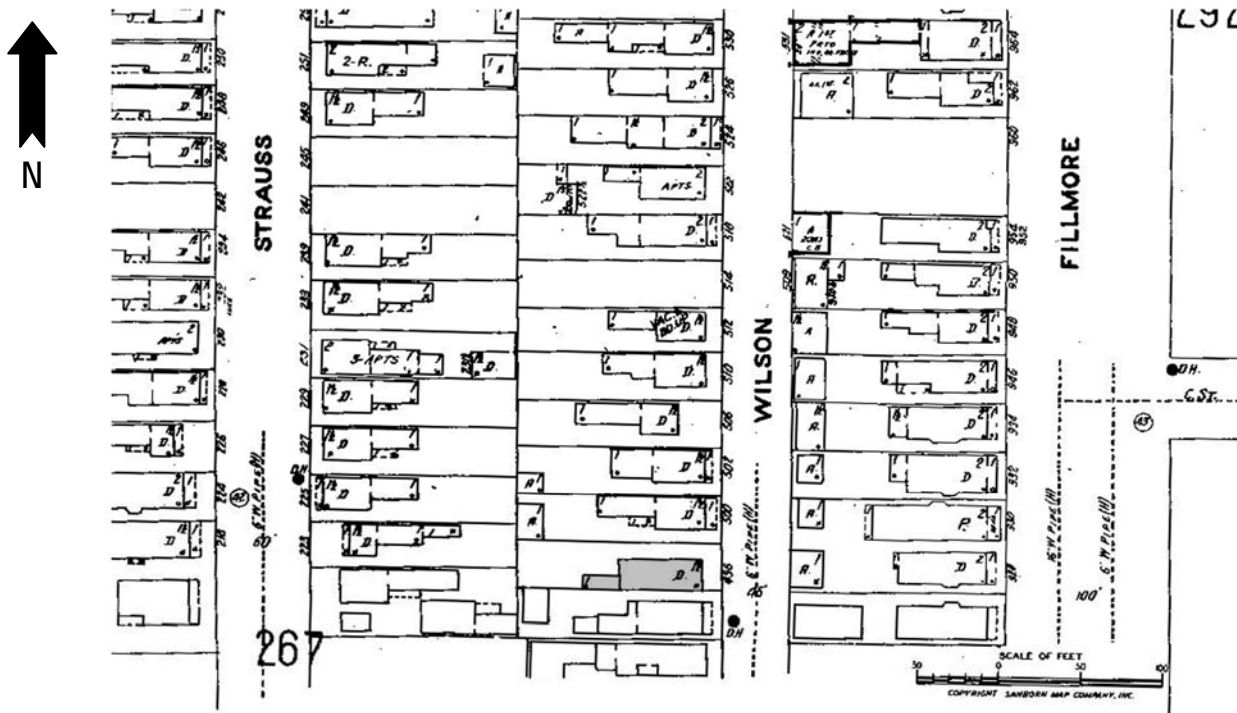
The single-family house at **496 Wilson Street** is located on the west side of the street, north of Sycamore Street. Wilson Street is a six-block long, north-south residential street spanning from William Street to Genesee Street. Most of the smaller, north-south streets in the area between Best Street on the north and William Street on the south were laid out as in parallel rows beginning in the 1870s, when residential development of the area commenced. The property is located in the western central section of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, extended workers' cottage. It has a rectangular plan and is set on a rusticated concrete block foundation. The façade has an full-width Craftsman porch with a rusticated concrete block foundation and pedestals, square piers, replacement wooden rail, and hipped roof. The entry door is set in the south bay and a triple window grouping is located in the north bay. Exterior wall fabric is clapboard. Fenestration is one-over-one and two-over-two double-hung wood sash. Eastlake molding accents the gable end. Extending west from the west end of the main block is a one-story, gabled-roof addition with shed dormer, and a brick chimney on the center ridge. A brick chimney rests on the center ridge of the main block

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 496 Wilson Street is significant as a good representative example of a late nineteenth century, extended workers' cottage. The front section was added by W. Fred Barth in 1885. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 290



PHOTOGRAPH: (Broadway-Fillmore R-5; N-37)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 522 Wilson Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known _____ Date of construction, if known 1888

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at **522 Wilson Street** is located on the west side of the street, north of Sycamore Street. Wilson Street is a six-block long, north-south residential street spanning from William Street to Genesee Street. Most of the smaller, north-south streets in the area between Best Street on the north and William Street on the south were laid out as in parallel rows beginning in the 1870s, when residential development of the area commenced. The property is located in the western central section of the Broadway-Fillmore neighborhood.

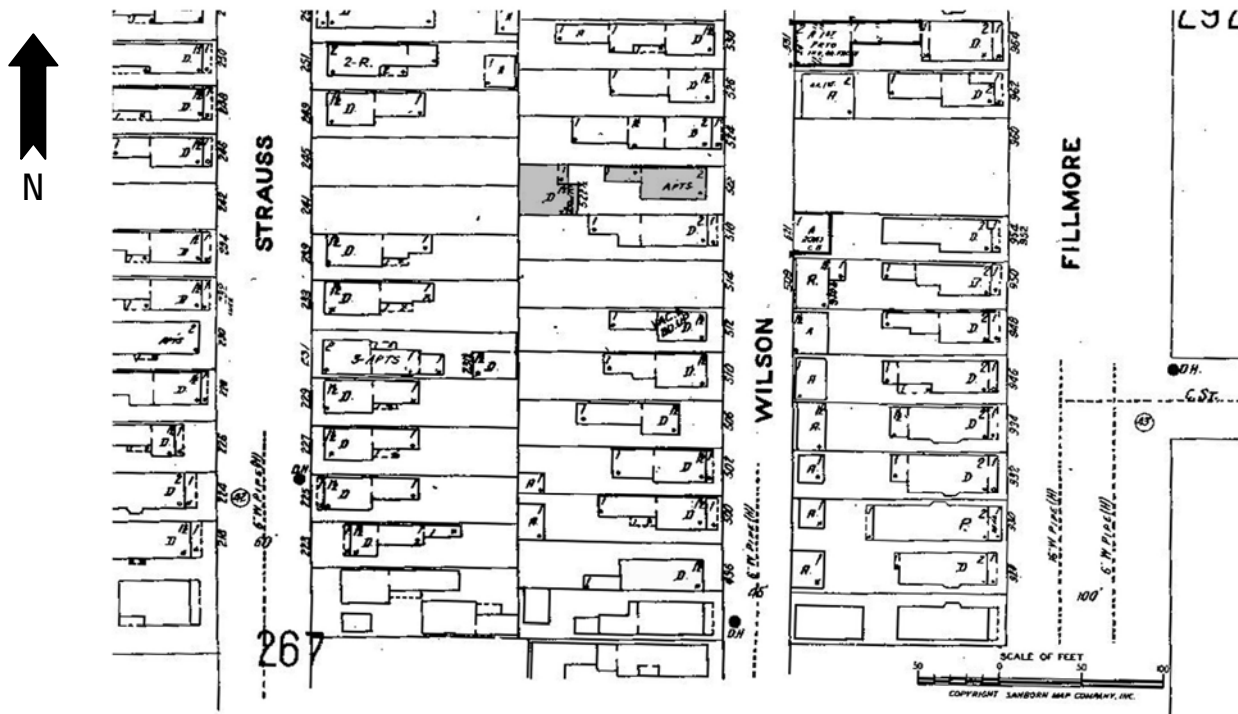
A two-story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade features symmetrical fenestration with a door opening in the north bay. It has doubled-leaf, paneled doors. The windows have two-over-two, double-hung wood sash. Exterior wall fabric is clapboard. A rectangular bay is located on the south elevation. Two brick chimneys rest on the roof center ridge.

A detached, one-and-one-half story dwelling stands at the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 522 Wilson Street is significant as a good representative example a late nineteenth century, extended workers' cottage. It was built for Demeter Hartung. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 290



PHOTOGRAPH: (Broadway-Fillmore R-6; N-1)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

| |
|-----------------------------------|
| OFFICE USE ONLY USN: _____ |
|-----------------------------------|

IDENTIFICATION

Property name (if any) _____

Address or Street Location 526 Wilson Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: multiple-family Current use Residence: single-family

Architect/Builder, if known _____ Date of construction, if known ca. 1890

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

| | | | | |
|-------------|--------------------------------|--------------------------------|--|---|
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
|-------------|--------------------------------|--------------------------------|--|---|

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

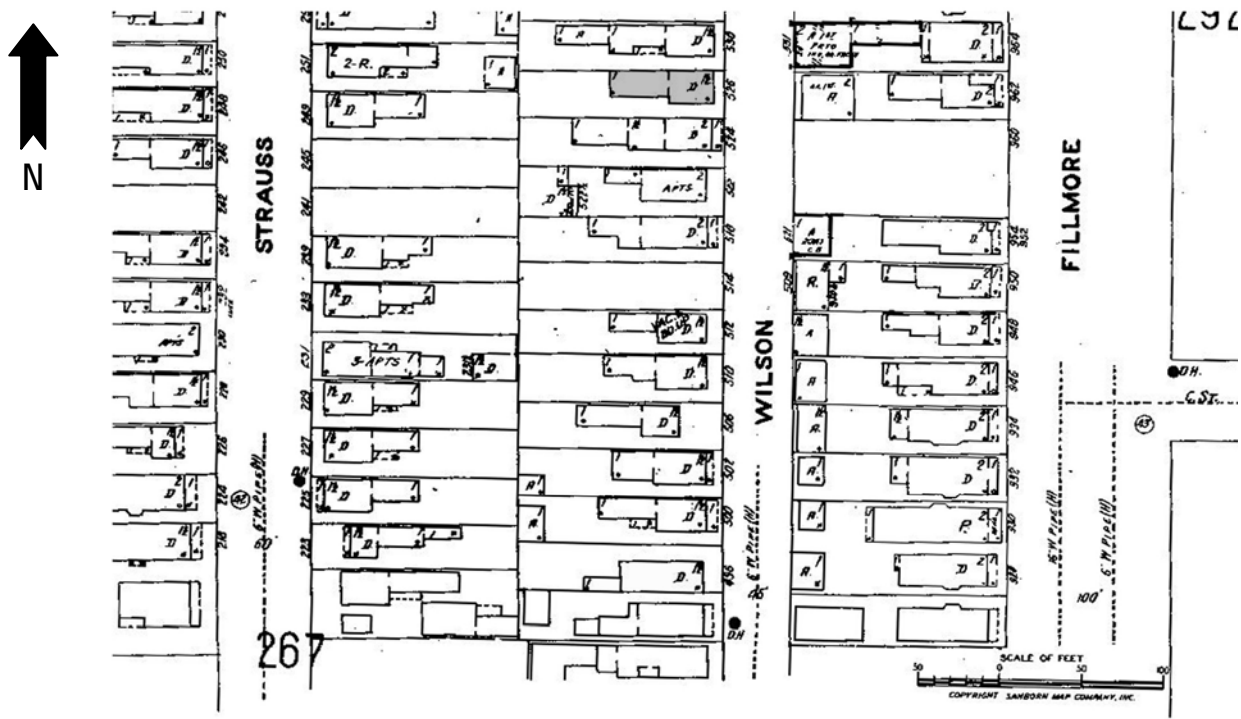
The single-family house at **526 Wilson Street** is located on the west side of the street, north of Sycamore Street. Wilson Street is a six-block long, north-south residential street spanning from William Street to Genesee Street. Most of the smaller, north-south streets in the area between Best Street on the north and William Street on the south were laid out as in parallel rows beginning in the 1870s, when residential development of the area commenced. The property is located in the western central section of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the north.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade features an entrance door in the north bay and a triple window grouping in the south bay. Fenestration is one-over-one, double-hung wood sash. Exterior wall fabric is clapboard. Two, one-story additions extend west from the west end of the main block. A brick chimney is located on the center ridge of the main block and the rear ridge of the first addition.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 526 Wilson Street is significant as a good representative example of a late nineteenth century, extended workers' cottage. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 290



PHOTOGRAPH: (Broadway-Fillmore R-6; N-2)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
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P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

| |
|-----------------------------------|
| OFFICE USE ONLY USN: _____ |
|-----------------------------------|

IDENTIFICATION

Property name (if any) _____

Address or Street Location 201 Woltz Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known _____ Date of construction, if known ca. 1895

DESCRIPTION

Materials – please check those materials that are visible

| | | | | | |
|-----------------|--|---|--|---|--------------------------------|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood | |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block | |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other | |
| Roof: | <input checked="" type="checkbox"/> asphalt, shingle | <input type="checkbox"/> asphalt, roll | <input type="checkbox"/> wood shingle | <input type="checkbox"/> metal | <input type="checkbox"/> slate |
| Foundation: | <input type="checkbox"/> stone | <input checked="" type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block | |

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

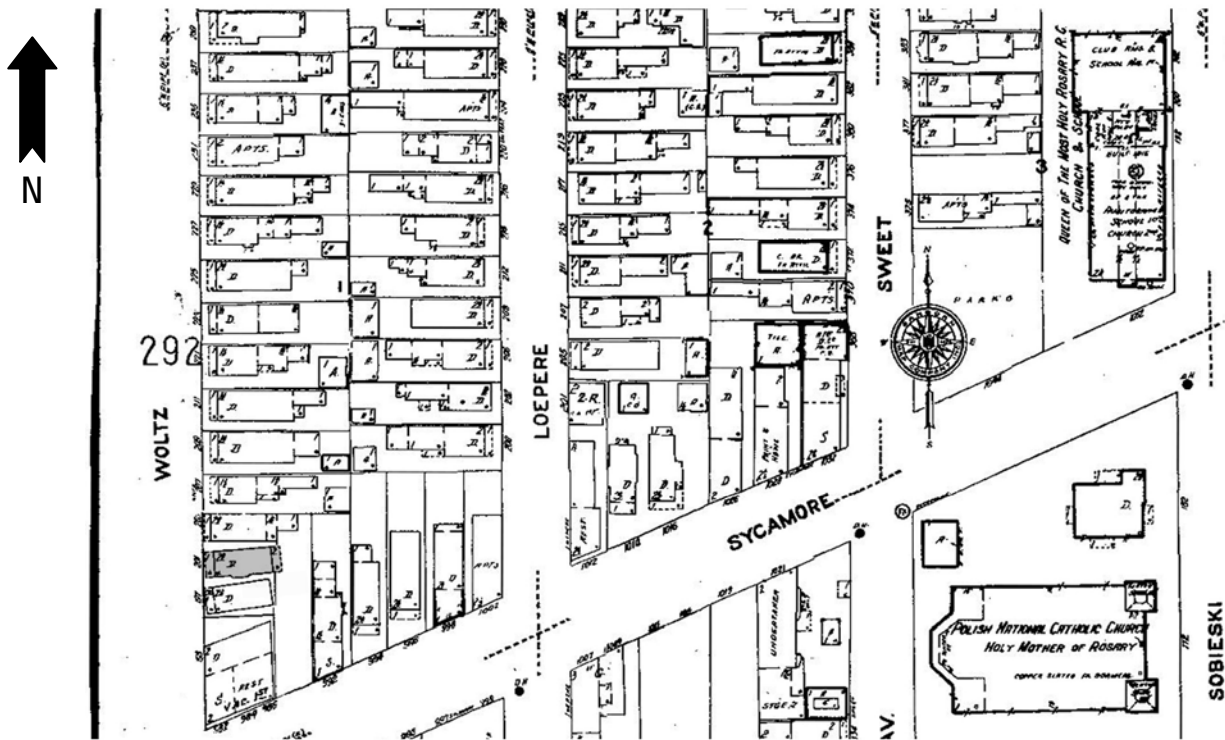
The multiple-family house at **201 Woltz Street** is located on the east side of the street, just north of Sycamore Street. Woltz Street is a three-block long, residential, north-south street that extends from Broadway to Walden Avenue. The property is located in the northwest corner of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the south. A vacant lot borders the property to the north.

A two-story, hipped-roof, frame building with a Craftsman porch. It has a rectangular plan and is set on a brick foundation. The façade has a full-width porch with square columns, solid paneled rail, and hipped roof. Entrance doors are located in the end bays of the façade. Fenestration is one-over-one double-hung wood sash. Exterior fabric is clapboard. A polygonal bay is located on the south elevation. A gabled-dormer with a paired window grouping rests on the front slope. A two-story addition with shed roof is attached to the east end of the main block.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 201 Woltz Street is significant as a good representative example of a two-story late nineteenth century workers' cottage with Craftsman details. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 269



PHOTOGRAPH: (Broadway-Fillmore R-7; N-31)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

| |
|-----------------------------------|
| OFFICE USE ONLY USN: _____ |
|-----------------------------------|

IDENTIFICATION

Property name (if any) _____

Address or Street Location 228 Woltz Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: multiple-family Current use Vacant

Architect/Builder, if known _____ Date of construction, if known ca. 1885

DESCRIPTION

Materials – please check those materials that are visible

| | | | | | |
|-----------------|--|--|--|---|--------------------------------|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood | |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block | |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other | |
| Roof: | <input checked="" type="checkbox"/> asphalt, shingle | <input type="checkbox"/> asphalt, roll | <input type="checkbox"/> wood shingle | <input type="checkbox"/> metal | <input type="checkbox"/> slate |
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block | |

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

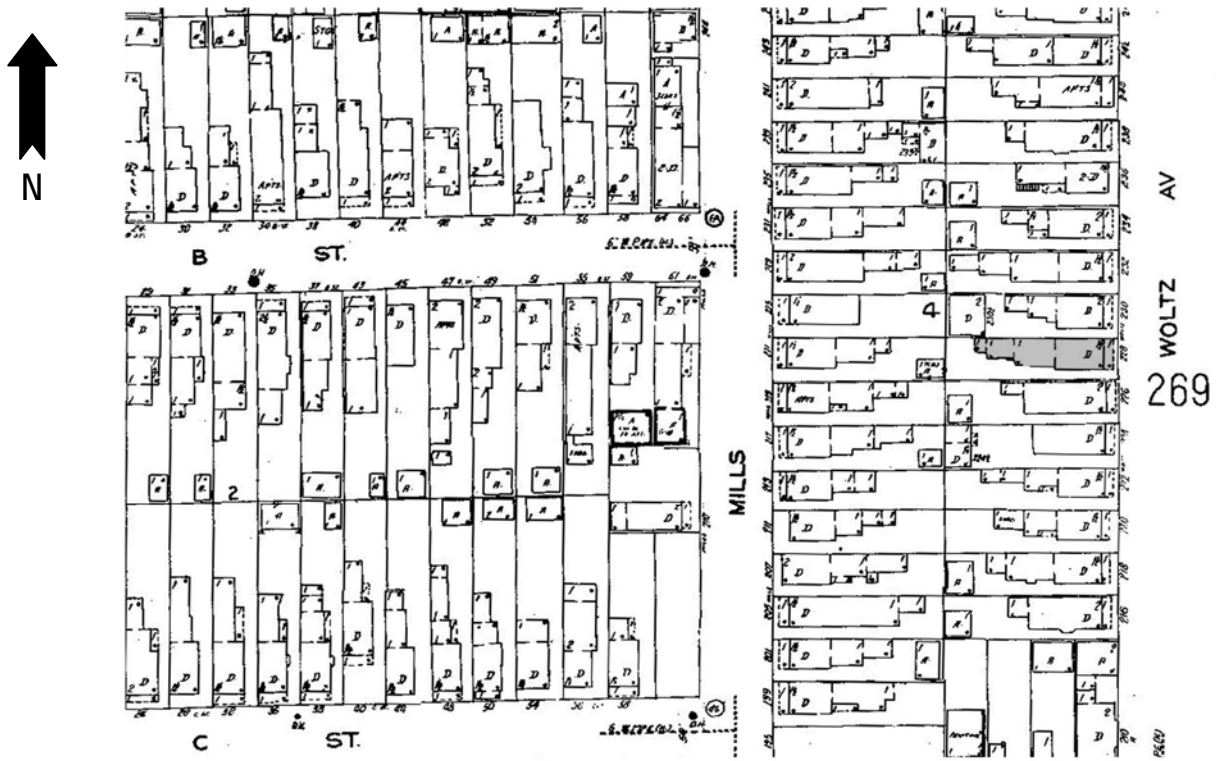
The building at **228 Woltz Street** is located on the west side of the street, just north of Sycamore Street. Woltz Street is a three-block long, residential, north-south street that extends from Broadway to Walden Avenue. The property is located in the northwest corner of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the north.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with paneled square columns, a replacement open wooden rail, and a gabled roof. Window and door openings in the façade have Eastlake surrounds. The entrance door is located in the north bay. Eastlake molding accents the gable end. Exterior wall fabric is clapboard. All of the window openings are boarded. Extending west from the west end of the main block are two one-story, gabled-roof additions. A brick chimney rests on the center ridge of the main block and rear additions. The north slope of the first rear addition has a gabled dormer.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 228 Woltz Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with Eastlake details with a later Craftsman porch. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 292



PHOTOGRAPH: (Broadway-Fillmore R-7; N-30)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

| |
|-----------------|
| OFFICE USE ONLY |
| USN: _____ |

IDENTIFICATION

Property name (if any) _____

Address or Street Location 231 Woltz Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known _____ Date of construction, if known ca. 1905

DESCRIPTION

Materials – please check those materials that are visible

| | | | | | |
|-----------------|--|--|--|--|--------------------------------|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood | |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block | |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other | |
| Roof: | <input checked="" type="checkbox"/> asphalt, shingle | <input type="checkbox"/> asphalt, roll | <input type="checkbox"/> wood shingle | <input type="checkbox"/> metal | <input type="checkbox"/> slate |
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input checked="" type="checkbox"/> concrete block | |

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

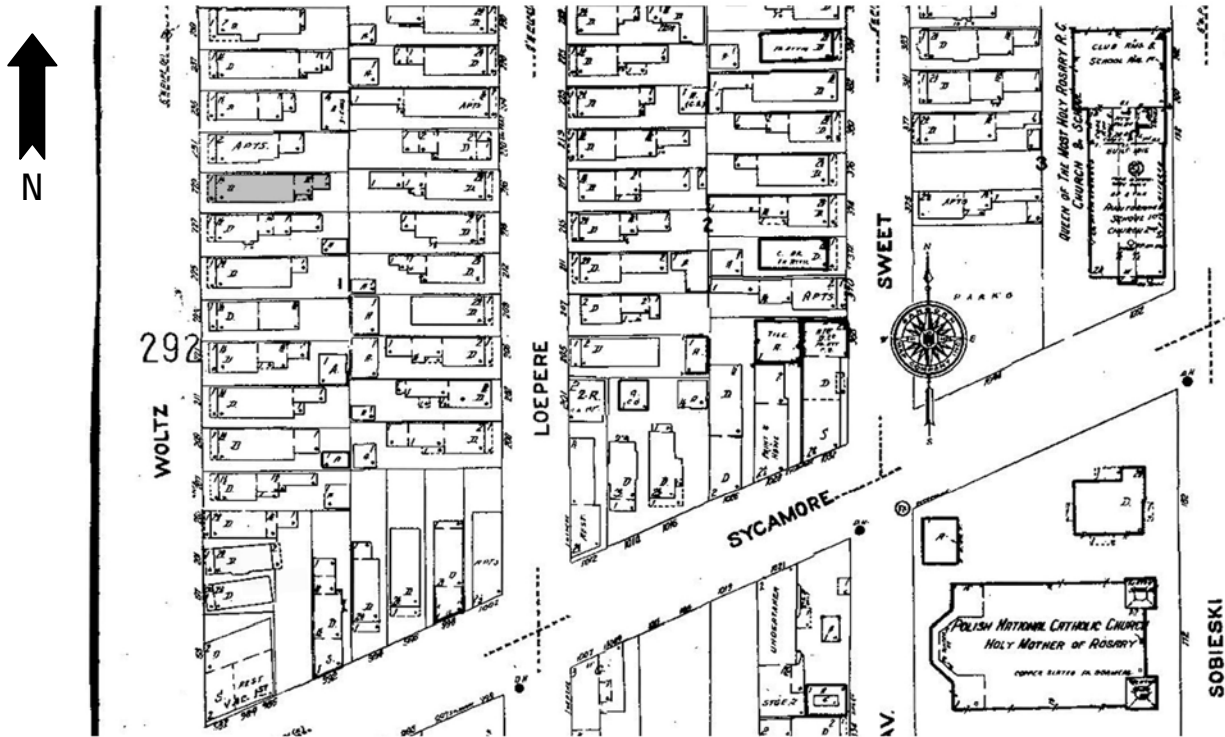
The multiple-family house at **231 Woltz Street** is located on the east side of the street, north of Sycamore Street. Woltz Street is a three-block long, residential, north-south street that extends from Broadway to Walden Avenue. The property is located in the northwest corner of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the south.

A two-and-one-half story, front-gabled, frame, residence with a Craftsman porch. It has a rectangular plan and is set on a rusticated concrete block foundation. Exterior wall fabric is clapboard. The façade has a full-width Craftsman porch with a rusticated concrete block foundation and pedestals, battered paneled piers, open wooden rail, and a flat roof with brackets. The entrance is located in the north bay and a triple window grouping is set in the south bay. Fenestration is one-over-one double-hung sash. The upper façade has an open porch with metal balustrade and an entrance door in the north bay. A one-story, shed-roof addition is attached to the east end of the main block. Two brick chimneys rest on the roof ridge.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 231 Woltz Street is significant as a good representative example of an early twentieth century workers' cottage with Craftsman details. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 269



PHOTOGRAPH: (Broadway-Fillmore R-7; N-29)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
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P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

| |
|-----------------|
| OFFICE USE ONLY |
| USN: _____ |

IDENTIFICATION

Property name (if any) _____

Address or Street Location 243 Woltz Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known _____ Date of construction, if known ca. 1890

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input checked="" type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

| | | | | |
|-------------|--------------------------------|--------------------------------|--|---|
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
|-------------|--------------------------------|--------------------------------|--|---|

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

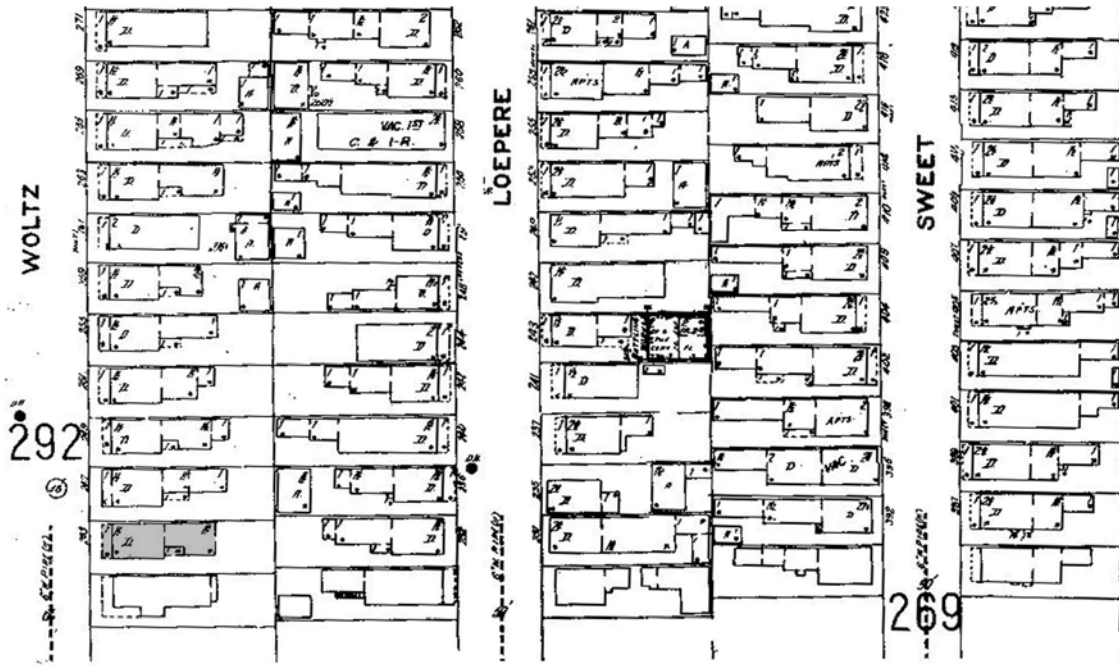
The multiple-family house at **243 Woltz Street** is located on the east side of the street, north of Sycamore Street. Woltz Street is a three-block long, residential, north-south street that extends from Broadway to Walden Avenue. The property is located in the northwest corner of the Broadway-Fillmore neighborhood. Vacant lots border the property to the north and south.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with wood-shingled base, paneled square columns, open wooden rail, and gabled-roof. A vestibule is located in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. Extending east from the east end of the main block is a one-story, gabled-roof addition with entrance on the south elevation. A brick chimney rests on the ridge of the rear addition.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 243 Woltz Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with early twentieth century Craftsman detailing. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 293



PHOTOGRAPH: (Broadway-Fillmore R-7; N-28)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 251 Woltz Street
County Erie Town/City Buffalo Village/Hamlet: _____
Owner _____ Address _____
Original use Residence: multiple-family Current use Residence: single-family
Architect/Builder, if known _____ Date of construction, if known ca. 1890

DESCRIPTION

Materials – please check those materials that are visible

| | | | | | |
|-----------------|--|--|--|---|--------------------------------|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input checked="" type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood | |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block | |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other | |
| Roof: | <input checked="" type="checkbox"/> asphalt, shingle | <input type="checkbox"/> asphalt, roll | <input type="checkbox"/> wood shingle | <input type="checkbox"/> metal | <input type="checkbox"/> slate |
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block | |

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

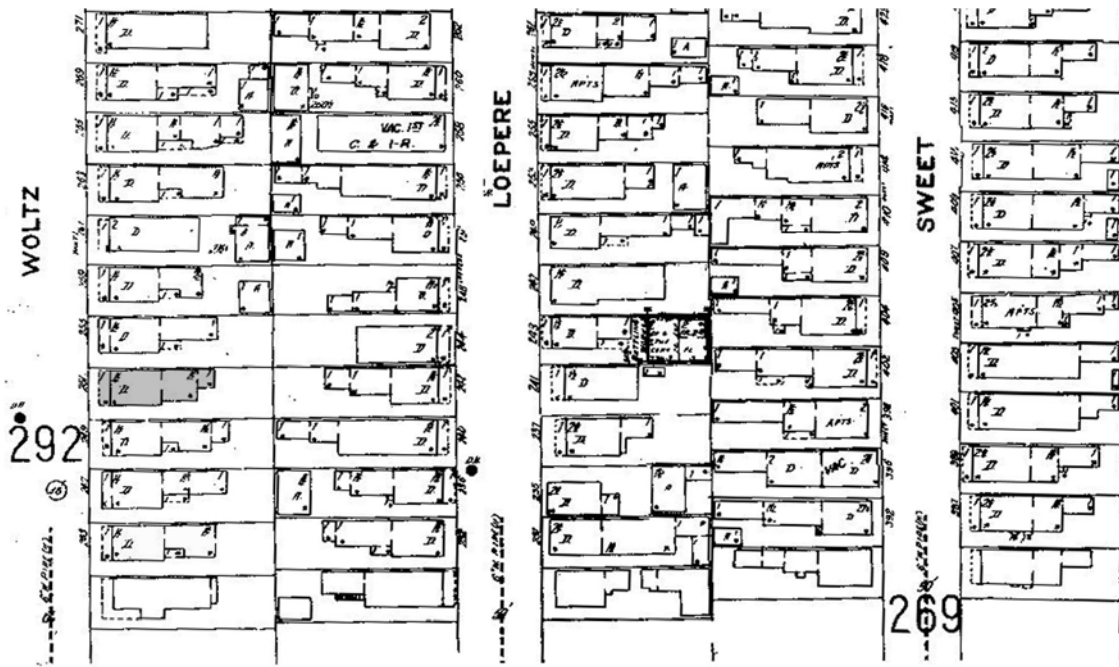
The single-family house at **251 Woltz Street** is located on the east side of the street, north of Sycamore Street. Woltz Street is a three-block long, residential, north-south street that extends from Broadway to Walden Avenue. The property is located in the northwest corner of the Broadway-Fillmore neighborhood.

A one-and-one-half story, front-gabled, frame, extended workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with wood-shingled base, paneled square columns, open wooden rail, and gabled-roof. The entrance door is located in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. Extending east from the east end of the main block is a one-story, gabled-roof addition with entrance on the south elevation. A brick chimney rests on the center ridge of the main block.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 251 Woltz Street is significant as a good representative example of **as** late nineteenth century, extended workers' cottage with early twentieth century Craftsman detailing. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 293



PHOTOGRAPH: (Broadway-Fillmore R-7; N-27)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

| |
|-----------------------------------|
| OFFICE USE ONLY USN: _____ |
|-----------------------------------|

IDENTIFICATION

Property name (if any) _____

Address or Street Location 261 Woltz Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known _____ Date of construction, if known ca. 1920

DESCRIPTION

Materials – please check those materials that are visible

| | | | | | |
|-----------------|--|--|--|--|--------------------------------|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood | |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block | |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other | |
| Roof: | <input checked="" type="checkbox"/> asphalt, shingle | <input type="checkbox"/> asphalt, roll | <input type="checkbox"/> wood shingle | <input type="checkbox"/> metal | <input type="checkbox"/> slate |
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input checked="" type="checkbox"/> concrete block | |

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

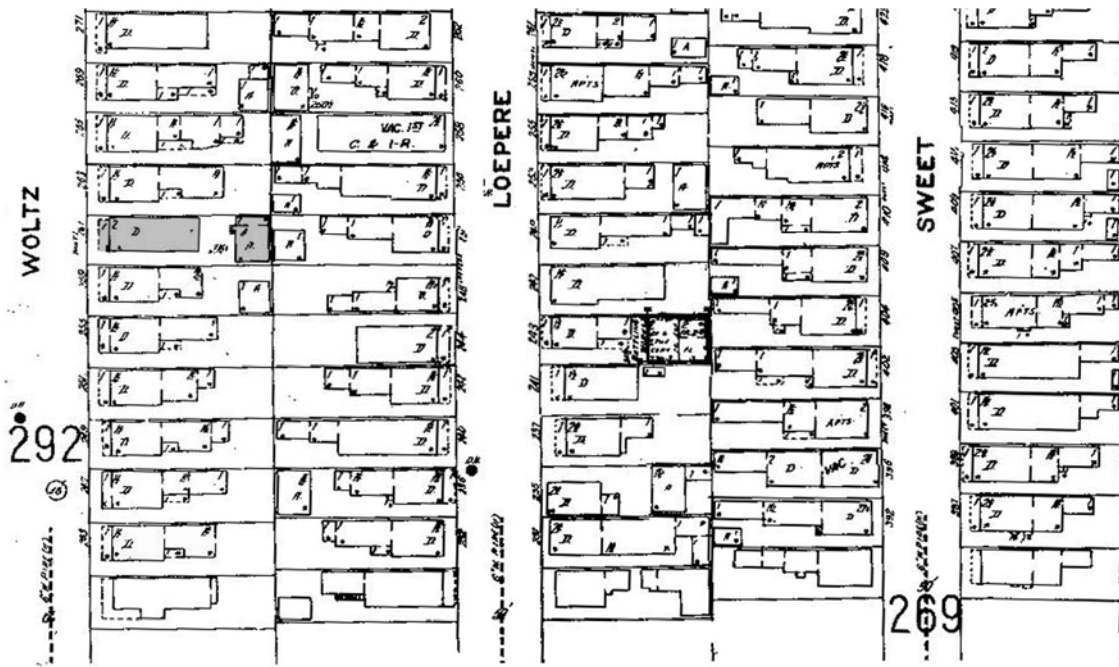
The single-family house at **261 Woltz Street** is located on the east side of the street, north of Sycamore Street. Woltz Street is a three-block long, residential, north-south street that extends from Broadway to Walden Avenue. The property is located in the northwest corner of the Broadway-Fillmore neighborhood.

A one-and-one-half story, frame, Craftsman workers' cottage with a clipped-gable roof. It has a rectangular plan and is set on a rusticated concrete block foundation. The façade has a full-width Craftsman porch with rusticated concrete block foundation, battered square columns, open wooden rail, and hipped roof. An entry door with ¾ sidelights is located in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. The gable end features cornice returns and brackets below the clipped gable. The north and south slopes have hipped dormers. A side entrance with bracketed canopy is located on the south elevation. A brick chimney rests on the rear ridge.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 261 Woltz Street is significant as a good representative example of a Craftsman workers' cottage constructed in ca. 1920. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 293



PHOTOGRAPH: (Broadway-Fillmore R-7; N-26)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

| |
|-----------------|
| OFFICE USE ONLY |
| USN: _____ |

IDENTIFICATION

Property name (if any) _____

Address or Street Location 264 Woltz Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known _____ Date of construction, if known ca. 1890

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

| | | | | |
|-------------|--------------------------------|--------------------------------|--|---|
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
|-------------|--------------------------------|--------------------------------|--|---|

Other materials and their location: _____

Alterations, if known: Replacement windows and door frame (1950), dormer (1955) Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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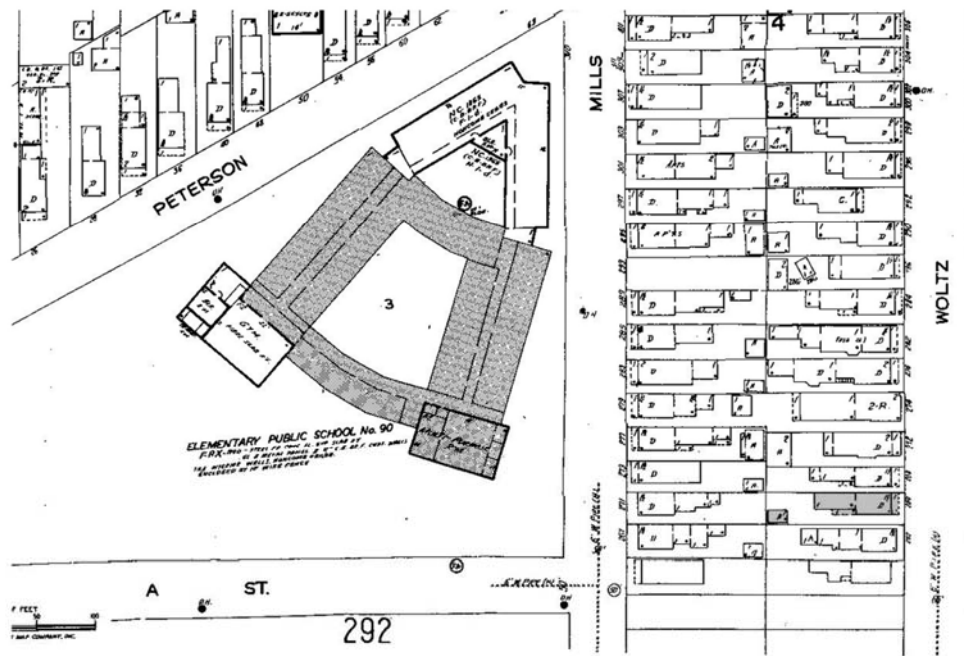
The multiple-family house at **264 Woltz Street** is located on the west side of the street, north of Sycamore Street. Woltz Street is a three-block long, residential, north-south street that extends from Broadway to Walden Avenue. The property is located in the northwest corner of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the south.

A one-and-one-half story, frame, front-gabled, extended workers' cottage. It has a rectangular plan and no foundation. The façade has a full-width Craftsman porch with paneled square columns, replacement metal rail, pediment above entry bay, and hipped roof. An entry door with ¾ sidelights is located in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. A shed dormer rests on the south slope. A side entrance is located on the south elevation. A small addition is attached to the west end of the main block. Two brick chimneys rest on the roof ridge.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 264 Woltz Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with early twentieth century Craftsman detailing. This house received new windows and front door frame in 1950, and a dormer in 1955. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 293



PHOTOGRAPH: (Broadway-Fillmore R-7; N-25)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

| |
|-----------------|
| OFFICE USE ONLY |
| USN: _____ |

IDENTIFICATION

Property name (if any) _____

Address or Street Location 284 Woltz Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known _____ Date of construction, if known ca. 1890

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

| | | | | |
|-------------|--------------------------------|--------------------------------|--|---|
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
|-------------|--------------------------------|--------------------------------|--|---|

Other materials and their location: _____

Alterations, if known: Replacement windows, kitchen addition (1895) Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The multiple-family house at **284 Woltz Street** is located on the west side of the street, north of Sycamore Street. Woltz Street is a three-block long, residential, north-south street that extends from Broadway to Walden Avenue. The property is located in the northwest corner of the Broadway-Fillmore neighborhood. .

A one-and-one-half story, frame, front-gabled, workers' cottage. It has a rectangular plan and no foundation. The façade has a full-width Craftsman porch with square paneled columns, open wooden rail, pediment above entry bay, and hipped roof. An entry door is located in the north bay and a triple window grouping with headers is set in the south bay. Exterior wall fabric is clapboard. Fenestration is six- and one-over-one, double-hung wood sash. A one-story, gabled-roof addition with entrance on the south elevation extends west from the west end of the main block.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at **284 Woltz Street** is significant as a good representative example of a late nineteenth century, workers' cottage with early twentieth century Craftsman detailing. This house received a kitchen addition in 1895. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.



HISTORIC RESOURCE INVENTORY FORM

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(518) 237-8643

| |
|-----------------|
| OFFICE USE ONLY |
| USN: _____ |

IDENTIFICATION

Property name (if any) _____

Address or Street Location 287 Woltz Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known _____ Date of construction, if known 1893

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

| | | | | |
|-------------|--------------------------------|--------------------------------|--|---|
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
|-------------|--------------------------------|--------------------------------|--|---|

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

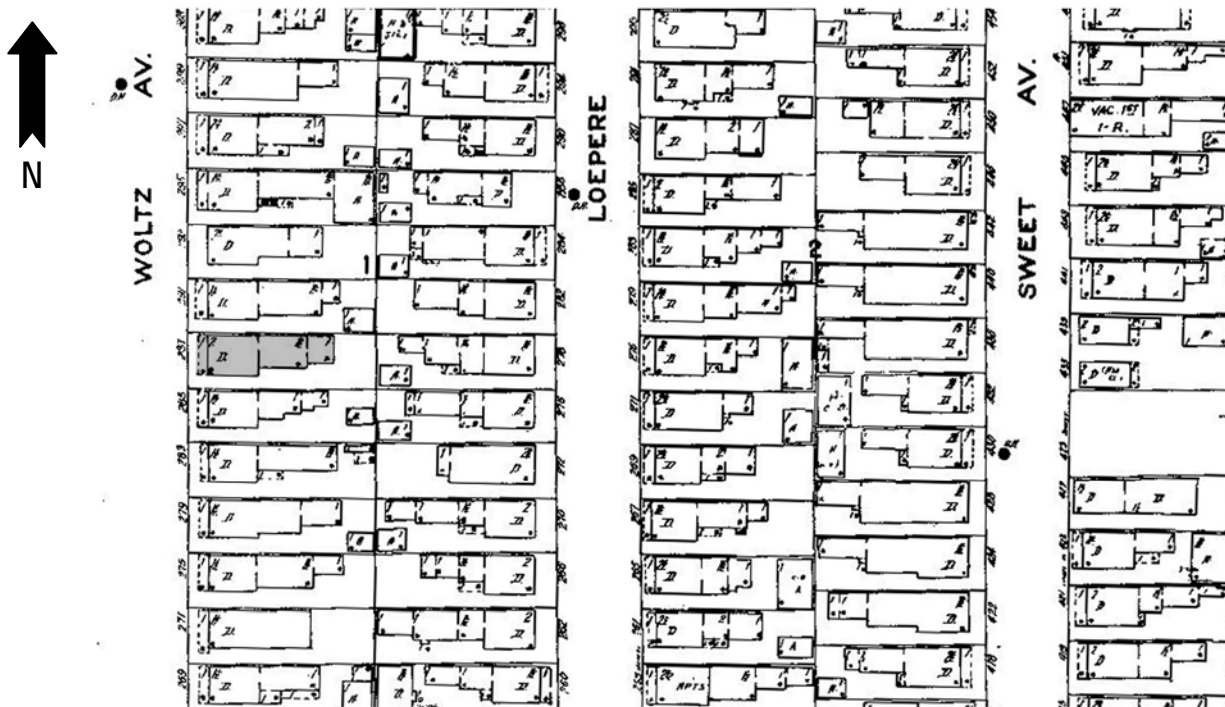
The single-family house at **287 Woltz Street** is located on the east side of the street, north of Sycamore Street. Woltz Street is a three-block long, residential, north-south street that extends from Broadway to Walden Avenue. The property is located in the northwest corner of the Broadway-Fillmore neighborhood. A vacant lot borders the property to the north.

A one-and-one-half story, frame, front-gabled, workers' cottage. It has a rectangular plan and no foundation. The façade has a full-width Craftsman porch with wood-shingled foundation and pedestals, square piers, open wooden rail, and hipped roof. An entry door is located in the north bay and a triple window grouping with headers is set in the south bay. Exterior wall fabric is clapboard. Fenestration is three-over-one, double-hung wood sash. Eastlake molding accents the gable end. Shed dormers rest on the north and south slopes. The east elevation has an open porch. A brick chimney rests on the center ridge.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 287 Woltz Street is significant as a good representative example of a late nineteenth century, extended workers' cottage with early twentieth century Craftsman detailing. It was built for Joseph Brachmann. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 293



PHOTOGRAPH: (Broadway-Fillmore R-7; N-23)





HISTORIC RESOURCE INVENTORY FORM

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(518) 237-8643

| |
|-----------------|
| OFFICE USE ONLY |
| USN: _____ |

IDENTIFICATION

Property name (if any) _____

Address or Street Location 329 Woltz Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known _____ Date of construction, if known 1907

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input checked="" type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

| | | | | |
|-------------|--------------------------------|--------------------------------|--|---|
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
|-------------|--------------------------------|--------------------------------|--|---|

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

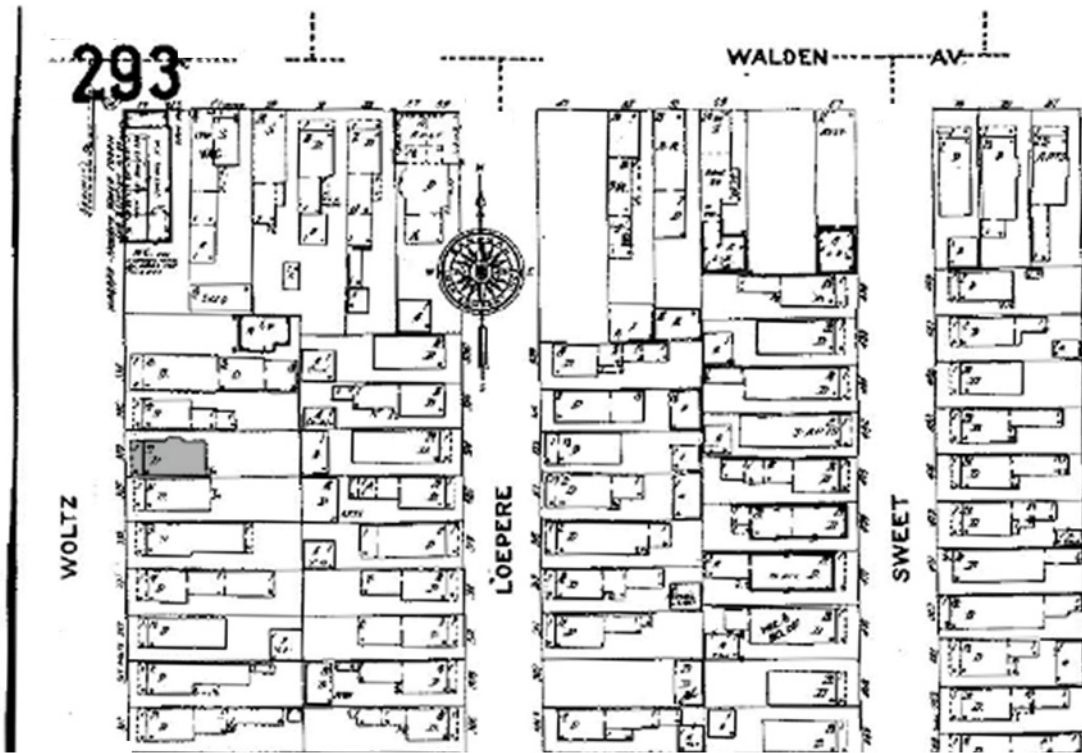
The multiple--family house at **329 Woltz Street** is located on the east side of the street, just south of Walden Avenue. Woltz Street is a three-block long, residential, north-south street that extends from Broadway to Walden Avenue. The property is located in the northwest corner of the Broadway-Fillmore neighborhood. Martin Luther King, Jr. Park lies is located to the northwest. A vacant lot borders the property to the south.

A two-and-one-half story, closed-gabled residence with Craftsman detailing. It has a rectangular plan. The façade has a full-width porch with square columns, a closed wooden rail, and flat roof. The entrance door is located in the south bay. Fenestration one-over-one-double-hung wood sash. Exterior fabric is clapboard. The gable peak has a paired window grouping with hood and is sheathed with wooden shingle. The south elevation has a side entrance with canopy. A one-story addition extends east from the east end of the main block.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 329 Woltz Street is significant as a good representative example of a multiple-family dwelling with Craftsman details constructed in the first decade of the twentieth century. It was built for P. Kaspazak in 1907. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 293



PHOTOGRAPH: (Broadway-Fillmore R-7; N-22)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 332 Woltz Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: single-family Current use Residence: single-family

Architect/Builder, if known _____ Date of construction, if known ca. 1925

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input checked="" type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

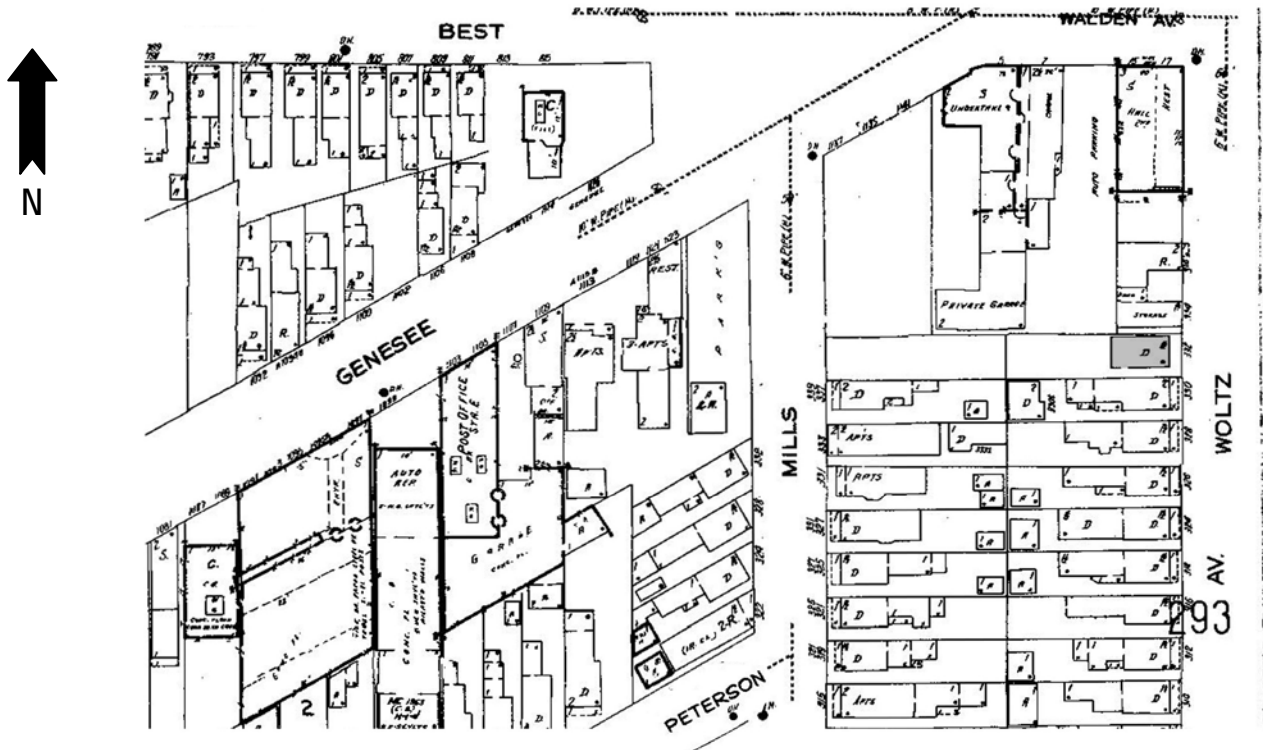
The single-family house at **332 Woltz Street** is located on the west side of the street, just south of Walden Avenue. Woltz Street is a three-block long, residential, north-south street that extends from Broadway to Walden Avenue. The property is located in the northwest corner of the Broadway-Fillmore neighborhood. Martin Luther King, Jr. Park lies is located to the northwest. A vacant lot borders the property to the south.

A one-and-one-half story, front-gabled, frame, workers' cottage with no foundation. It has a rectangular plan. The entry door with stoop is set in the north bay and a single window is located in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. The gable end features cornice returns and wood shingles in the peak. A gabled dormer and a brick chimney rest on the south slope.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 332 Woltz Street is significant as a good representative example of an early twentieth century, workers' cottage. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail. In 1891 a house of this sort cost \$885 to build and might rent for \$9 or \$10 per month.

MAP: Sanborn Map (Revised 1986) – Plate 291



PHOTOGRAPH: (Broadway-Fillmore R-7; N-21)





HISTORIC RESOURCE INVENTORY FORM

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(518) 237-8643

| |
|-----------------|
| OFFICE USE ONLY |
| USN: _____ |

IDENTIFICATION

Property name (if any) _____

Address or Street Location 52 Young Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known _____ Date of construction, if known 1905

DESCRIPTION

Materials – please check those materials that are visible

| | | | | |
|-----------------|--|--|--|---|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other |

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

| | | | | |
|-------------|--------------------------------|--------------------------------|--|---|
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block |
|-------------|--------------------------------|--------------------------------|--|---|

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

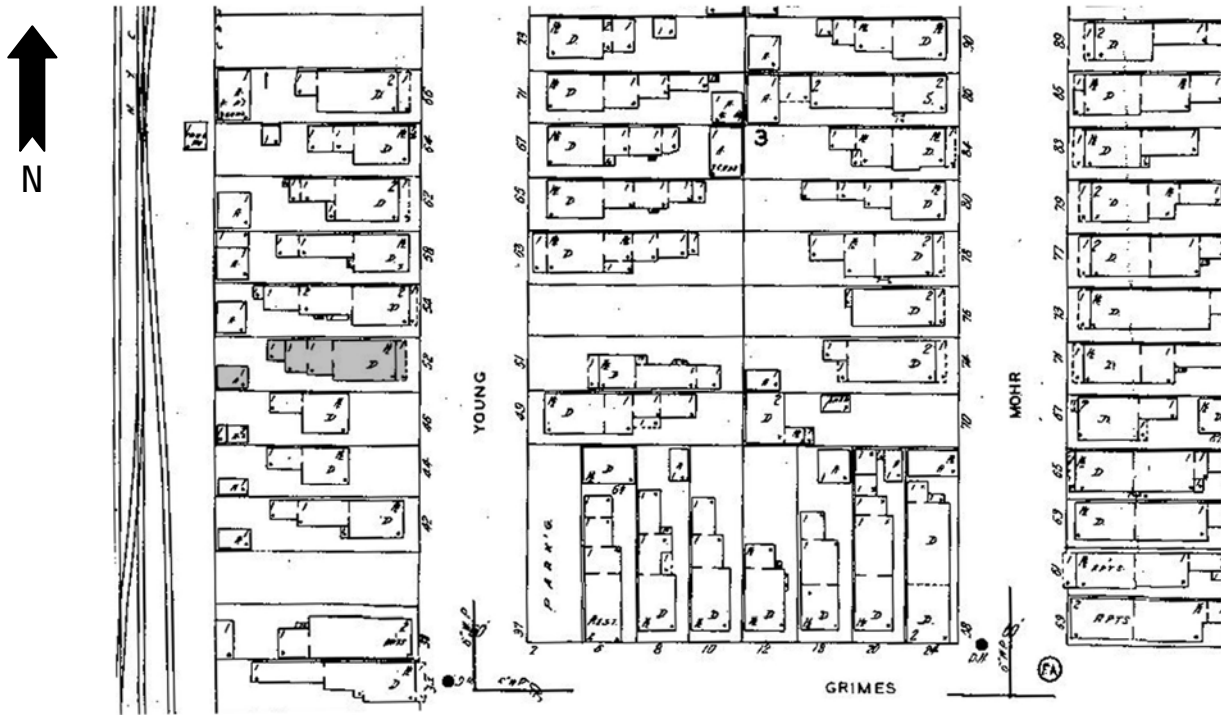
The multiple-family house at **52 Young Street** is located on the west side of the street, north of Grimes Street. Young Street is a two-block long, residential street that runs north-south from Broadway and dead ends at the New York Central terminal property.

A one-and-one-half story, front-gabled, frame, workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width Craftsman porch with square paneled columns, open wooden rail, and pent roof. An entry door is located in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. A gabled dormer rests on the south slope. Extending west from the west end of the main block is a one-story, gabled roof addition. Two brick chimneys rest on the center ridge.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at **52 Young Street** is significant as a good representative example of an early twentieth century, extended workers' cottage. It was built as a two-family dwelling for Katarzyna Maruszewska in 1905. This type of modest house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 717



PHOTOGRAPH: (Broadway-Fillmore R-14; N-24)





HISTORIC RESOURCE INVENTORY FORM

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P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

| |
|-----------------|
| OFFICE USE ONLY |
| USN: _____ |

IDENTIFICATION

Property name (if any) _____

Address or Street Location 62 Young Street

County Erie Town/City Buffalo Village/Hamlet: _____

Owner _____ Address _____

Original use Residence: multiple-family Current use Residence: multiple-family

Architect/Builder, if known _____ Date of construction, if known 1904

DESCRIPTION

Materials – please check those materials that are visible

| | | | | | |
|-----------------|--|--|--|---|--------------------------------|
| Exterior Walls: | <input checked="" type="checkbox"/> wood clapboard | <input checked="" type="checkbox"/> wood shingle | <input type="checkbox"/> vertical boards | <input type="checkbox"/> plywood | |
| | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block | |
| | <input type="checkbox"/> vinyl siding | <input type="checkbox"/> aluminum siding | <input type="checkbox"/> cement-asbestos | <input type="checkbox"/> other | |
| Roof: | <input checked="" type="checkbox"/> asphalt, shingle | <input type="checkbox"/> asphalt, roll | <input type="checkbox"/> wood shingle | <input type="checkbox"/> metal | <input type="checkbox"/> slate |
| Foundation: | <input type="checkbox"/> stone | <input type="checkbox"/> brick | <input type="checkbox"/> poured concrete | <input type="checkbox"/> concrete block | |

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

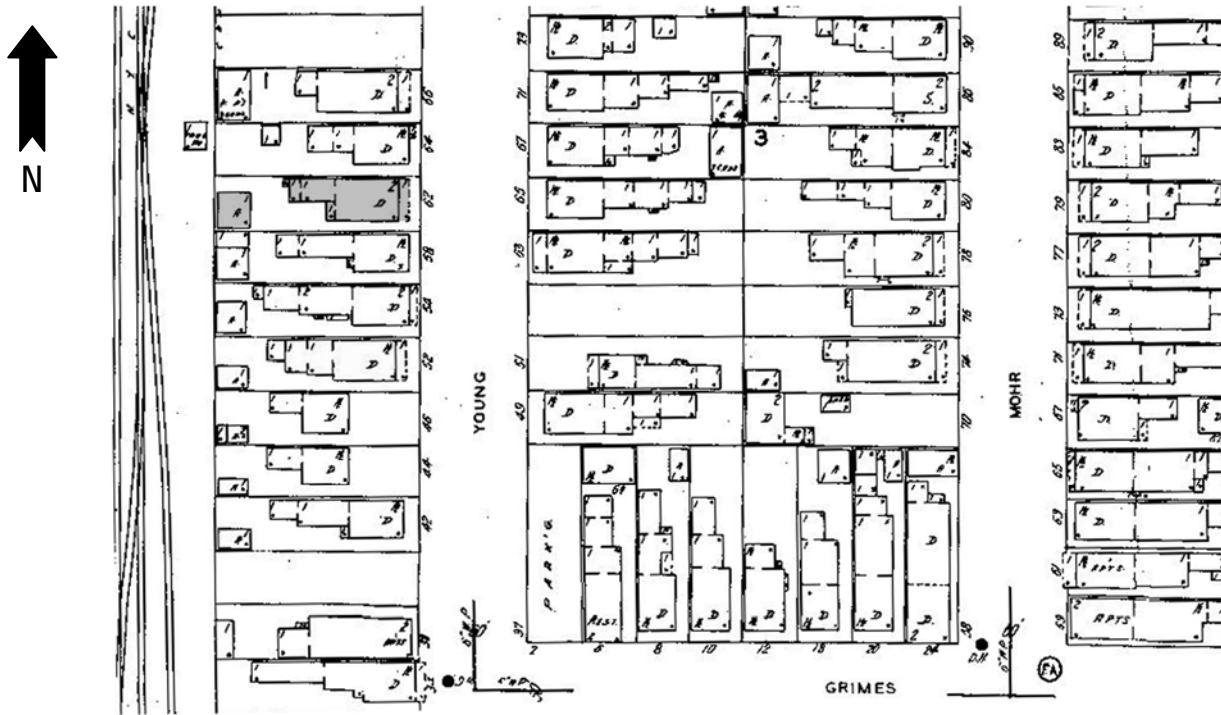
The multiple-family house at **62 Young Street** is located on the west side of the street, north of Grimes Street. Young Street is a two-block long, residential street that runs north-south from Broadway and dead ends at the New York Central terminal property.

A two-and-one-half story, front-gabled, frame, workers' cottage with no foundation. It has a rectangular plan. The façade has a full-width porch with rusticated concrete block foundation and pedestals, replacement metal rail and supports, and hipped roof. An entry door is located in the north bay and a triple window grouping is set in the south bay. Exterior wall fabric is clapboard. Fenestration is one-over-one, double-hung wood sash. The gable end has cornice returns and wood shingles in the peak. Extending west from the west end of the main block is a one-story, gabled roof addition. A brick chimney rests on the center ridge.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 62 Young Street is significant as a good representative example of an early twentieth century extended workers' cottage. It was built for real estate agent Frank Ruszkiewicz. This type of house quickly permeated the Broadway-Fillmore neighborhood, as it could be constructed inexpensively and quickly to accommodate the rapid influx of immigrants, largely Polish, to the Broadway-Fillmore area. Unlike the neighborhood's religious and commercial buildings, the vast majority of the housing stock in the Broadway-Fillmore area would have been erected to plans available to builders in books or by mail.

MAP: Sanborn Map (Revised 1986) – Plate 717



PHOTOGRAPH: (Broadway-Fillmore R-14; N-23)



