



HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 62 Dart Street

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1885

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 62 Dart Street is set on a trapezoidal lot, located on the west side of the street, toward its north end. Dart Street is a medium-sized, north-south, residential street that runs through the far north west section of the neighborhood, beginning at Forest Avenue. The property is located in a mixed residential area of the north west section of the Grant-Ferry-Forest neighborhood.

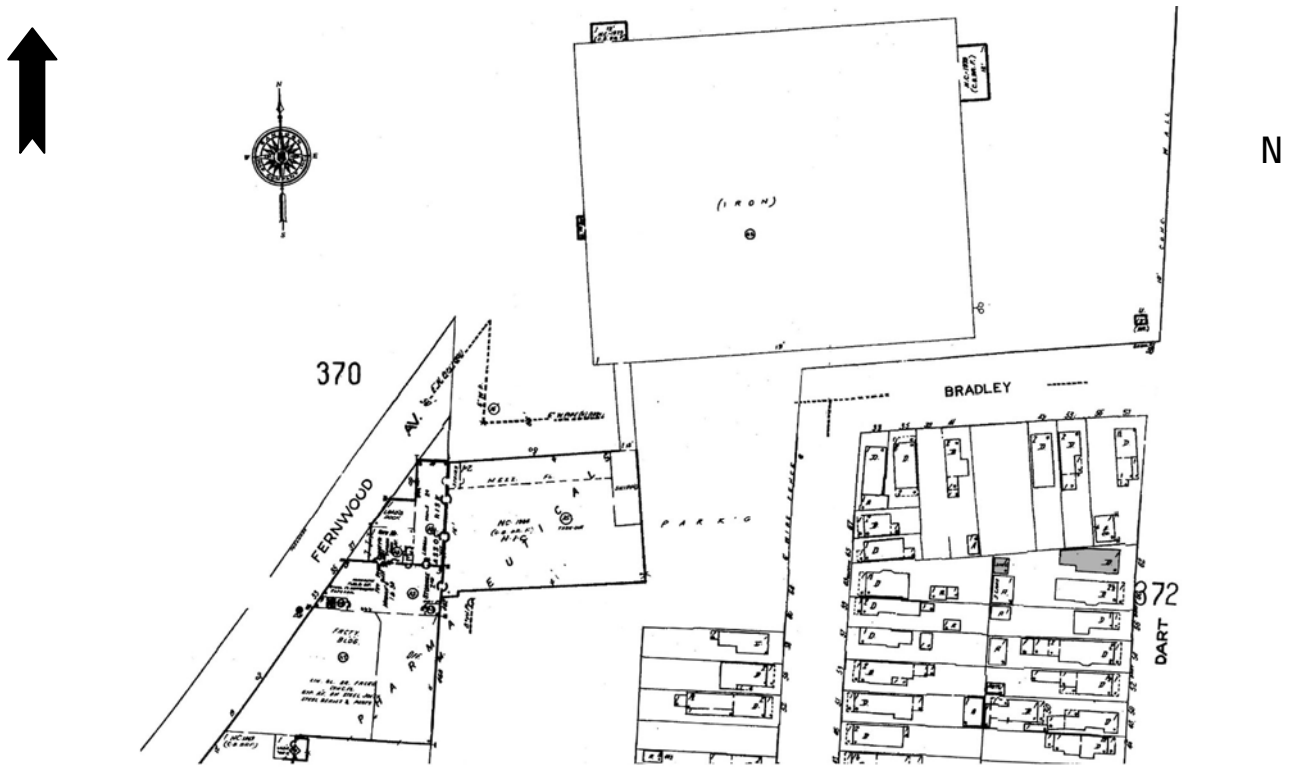
A one-and-one-half story, front gabled, urban, vernacular workers' cottage residence with mixed influences and modest detailing. It has a slight ell plan with squared main block and narrowed rear extension. The foundation is stone. The façade has a full-width, pedimented porch with square elephantine columns, solid wood rail, and flat frieze and cornice. The framed main entrance is located in the north bay. Two evenly spaced windows with matching frames occupy the remained of the façade. The upper façade is distinguished by a centered paired window. Shed roofed dormer visible on the north slope. Exterior wall fabric is wood clapboard with shingle on the porch pediment and rail. Fenestration is one-over-one double-hung wood sash and fixed. Additional detailing includes small corner boards, and trim.

Small garage at the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 62 Dart Street is significant as a good representative example of a one-and-one-half story, front gabled, urban, vernacular workers' cottage residence with mixed influences and modest detailing. Such vernacular folk structures often embellished with modest detailing of the prevailing architectural style were a practical alternative to the more high-styled homes of the time. A design common amongst single-family residences of more modest means, though, less frequent in this neighborhood in which urban singles and doubles of Queen Anne style abound.

MAP: Sanborn Map (Revised 1986) – Plate 371



PHOTOGRAPH: (Grant-Ferry-Forest: R-31; N-23)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 7 Dewitt Street

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1885

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

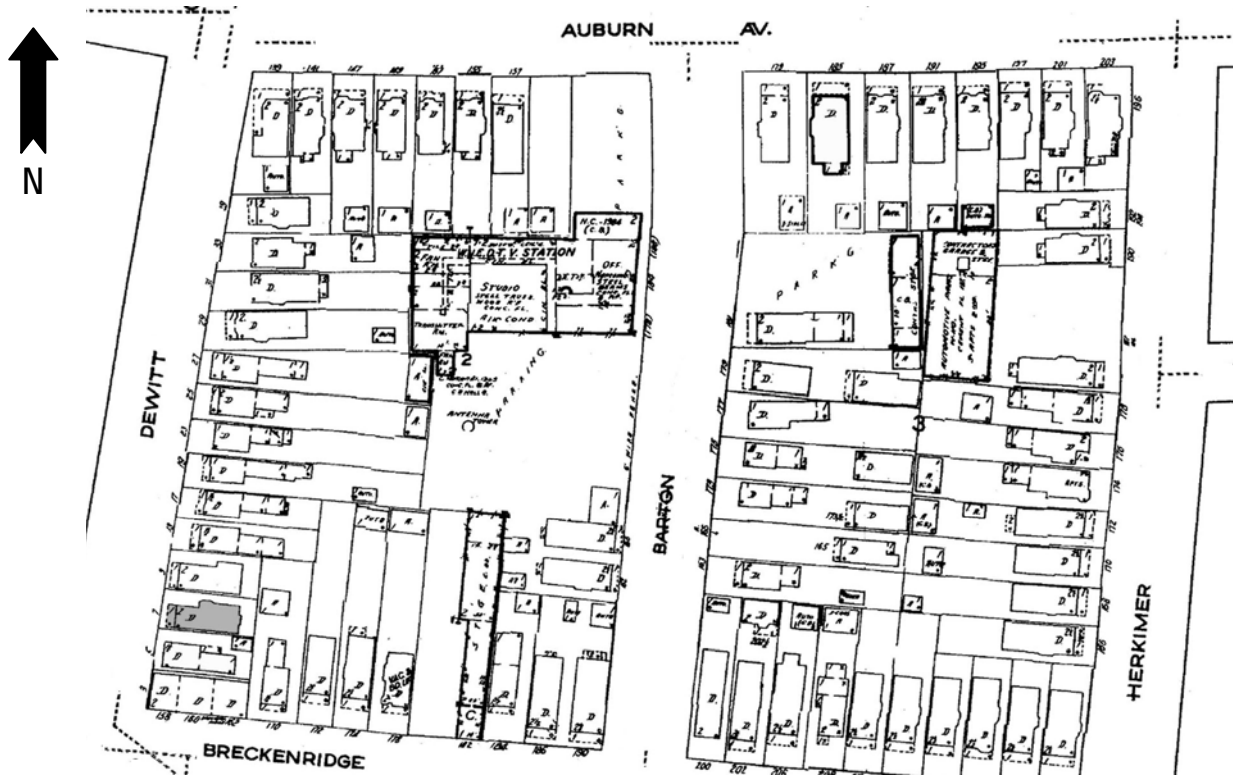
The two-family house at 7 Dewitt Street is set on a shortened lot, located on the east side of the street, at the south end of the street on the block between Breckenridge Street and Auburn Avenue. Dewitt Street is a north-south, largely residential street that runs the northern length of the western side of the neighborhood on a slight north east diagonal, beginning at Breckenridge Street and extending to the neighborhood's north boundary. The property is located in a residential area of the central west section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, cross gabled, urban, frame residence of Queen Anne styling. It has a slight ell plan and is set on a stone foundation. The façade has a full-width porch with wood post supports, open wood rail, lattice over the base, and an entry stair in the south. The main entrance is located in the south bay of the façade. A large paired window occupies the north bay. The second floor façade has an open porch with modern metal rail and awning supports, a porch entrance in the south bay over the entrance, and a polygonal oriel in the north flush beneath the slightly projecting front gable end. A shuttered window accents the main pent enclosed front gable end. Second floor gable punctuates the roofline at the forward valley on the north slope. A two-story projecting, polygonal bay is visible on the west elevation beneath the projecting side cross gable. Exterior wall fabrics are wood clapboard and shingle. Fenestration is one-over-one double-hung wood sash and fixed. Additional architectural details include modest corner boards, frieze and cornice trim.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 7 Dewitt Street is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame residence of Queen Anne styling. This house received an addition in 1905. More styled than most, urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 355



PHOTOGRAPH: (Grant-Ferry-Forest: R-32; N-31)





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& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 13 Dewitt Street

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1885

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

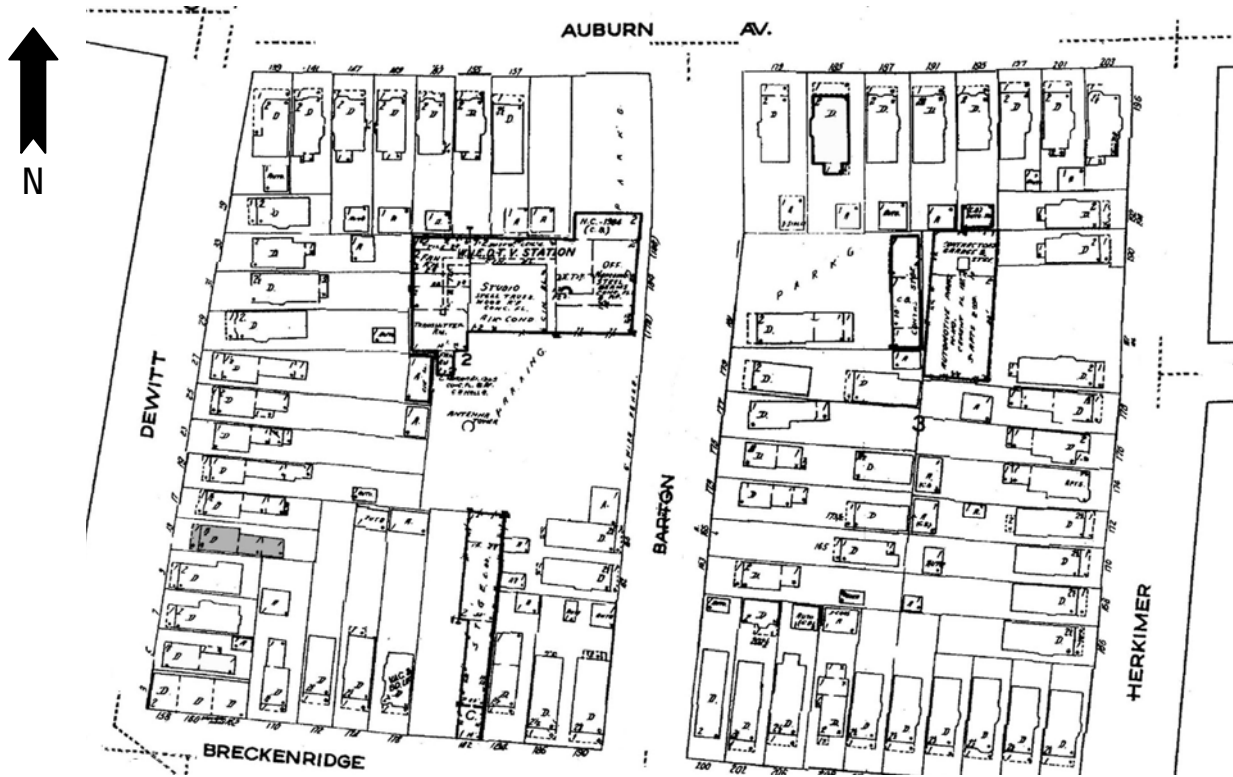
The single-family house at 13 Dewitt Street is set on a shortened lot, located on the east side of the street, at the south end of the street on the block between Breckenridge Street and Auburn Avenue. Dewitt Street is a north-south, largely residential street that runs the northern length of the western side of the neighborhood on a slight north east diagonal, beginning at Breckenridge Street and extending to the neighborhood's north boundary. The property is located in a residential area of the central west section of the Grant-Ferry-Forest neighborhood.

A two-story, front-gabled, vernacular Victorian, urban frame residence with modest detailing of a mixed Italianate style. It has a slight ell plan with main block and narrowed one-story rear section. The façade has a full-width, hipped roofed porch with square column supports and solid wood rail, flat frieze, and an entry stair to the south. The modestly enframed double main entrance doors are located in the south bay. Two evenly spaced windows with matching enframements occupy the remained of the façade. The upper façade is distinguished by two more elaborately enframed windows. Exterior wall fabric is clapboard with decorative wood shingle in the gable peak. Fenestration is one-over-one double-hung wood sash and fixed. Shed wall dormer visible on the south roof slope. Additional detailing includes modest corner boards and trim.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 13 Dewitt Street is significant as a good representative example of a two-story, front-gabled, vernacular Victorian, urban frame residence with modest detailing of a mixed Italianate style. Urban vernacular structures of varying period influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 355



PHOTOGRAPH: (Grant-Ferry-Forest: R-32; N-32)





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NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 24 Dewitt Street

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1927

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 24 Dewitt Street is set on a standard lot, located on the west side of the street, at the south end of the street on the block between Breckenridge Street and Auburn Avenue. Dewitt Street is a north-south, largely residential street that runs the northern length of the western side of the neighborhood on a slight north east diagonal, beginning at Breckenridge Street and extending to the neighborhood's north boundary. The property is located in a residential area of the central west section of the Grant-Ferry-Forest neighborhood.

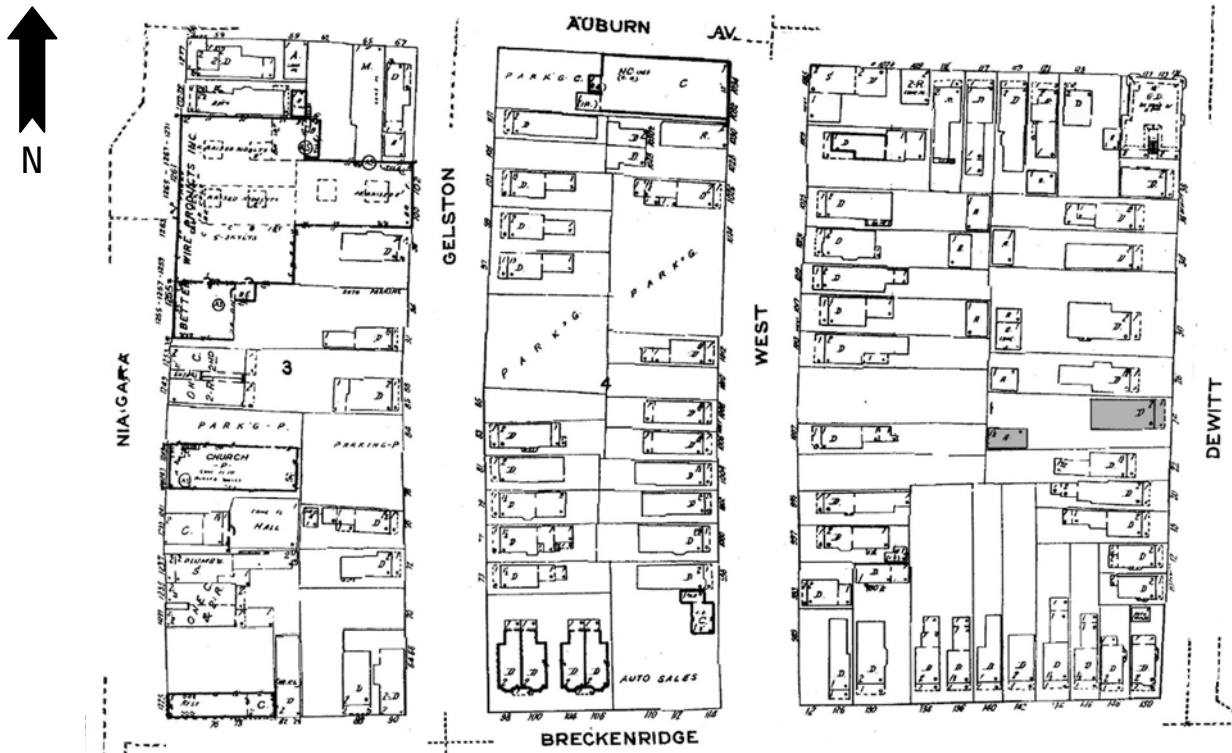
A two-and-one-half story, hipped roof, urban, vernacular, frame residence with mixed period influences. It has a rectangular plan and is set on a stone foundation. The façade has a full-width porch with modern metal rail and supports and flat frieze. The main entrance is located in the north bay of the façade under the porch within a ¼-width enclosed rectangular vestibule. A large triple window group occupies the south bay. The second floor façade has an open porch with modern metal rail and awning supports, a porch entrance in the north bay, and a large triple window group in the south over the lower window. Hipped dormer with window grouping rests on the front slope extending from the main roof crest. Exterior wall fabrics are clapboard and wood shingle. Fenestration is one-over-one double-hung wood sash and fixed, with multiple paired windows. Brick chimney just off the ridge on the south slope. Additional detailing includes modest frieze and trim.

A garage occupies the rear south corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 24 Dewitt Street is significant as a good representative example of a two-and-one-half story, hipped roof, urban, vernacular, frame residence with mixed period influences. Built for Rose Abate. Urban vernacular structures and modestly styled doubles of varying period influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 354



PHOTOGRAPH: (Grant-Ferry-Forest: R-32; N-33)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 70 Dewitt Street

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1890

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input checked="" type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

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The two-family house at 70 Dewitt Street is set on a standard lot, located on the west side of the street, on the block between Auburn Avenue and Lafayette Avenue. Dewitt Street is a north-south, largely residential street that runs the northern length of the western side of the neighborhood on a slight north east diagonal, beginning at Breckenridge Street and extending to the neighborhood's north boundary. The property is located in a residential area of the central west section of the Grant-Ferry-Forest neighborhood.

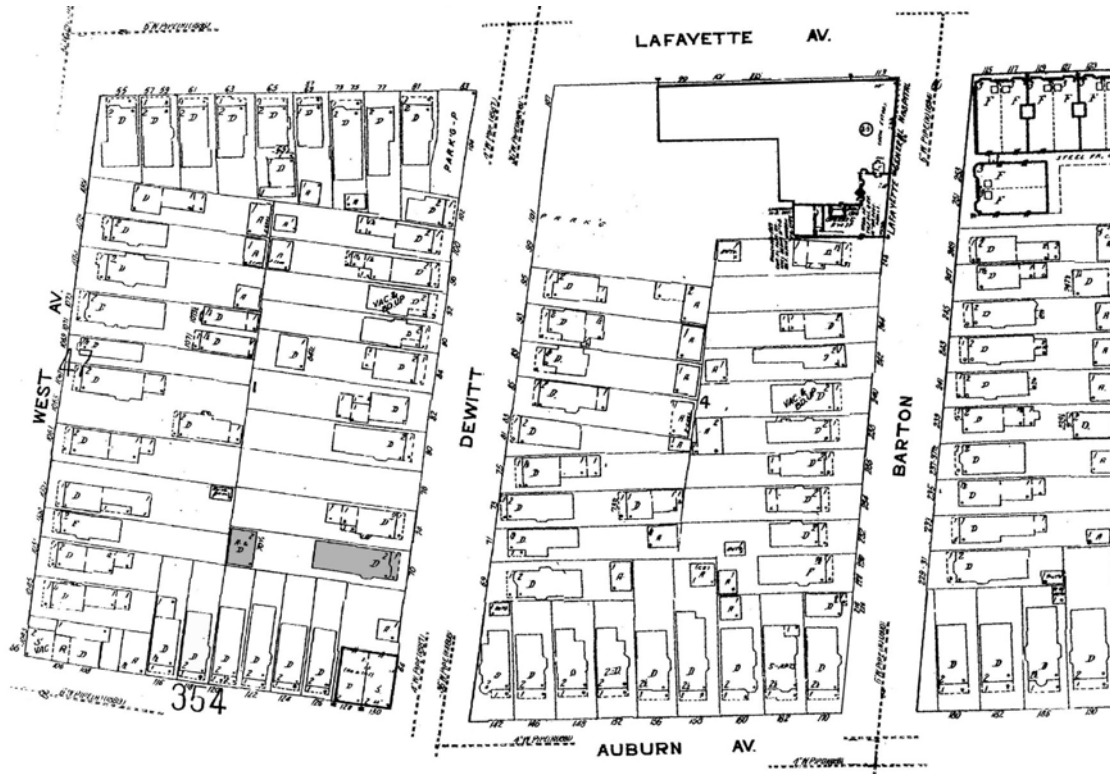
A two-and-one-half story, cross gabled, urban, frame residence with Queen Anne styling. It has a rough rectangular plan and is set on a stone and concrete block foundation. The façade has a full-width, flat roofed porch with trimmed wood post supports, spindled wood rail, small frieze, and entry stair in the north. The main entrance is located in the north bay of the facade. Two evenly spaced windows occupy the remainder of the lower façade. The second floor façade has a remaining porch entrance in the north over the main entrance and polygonal oriel in the south bay. A two-story polygonal bay is visible on the south elevation beneath the slightly protruding small side cross gable. Exterior wall fabric is clapboard with decorative wood shingle in the front gable end. Fenestration is one-over-one double-hung wood sash and fixed. A triple window group punctuates the pent enclosed front gable end. Brick chimney visible on the rear slope of the cross gable. Additional detailing includes small corner boards, frieze, trim, and brackets.

A garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 70 Dewitt Street is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame residence with Queen Anne styling. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1886) – Plate 347



PHOTOGRAPH: (Grant-Ferry-Forest: R-32; N-34)





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& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 84 Dewitt Street

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known George W. Gies, bldr. Date of construction, if known 1916

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 84 Dewitt Street is set on a wide lot, located on the west side of the street, on the block between Auburn Avenue and Lafayette Avenue. Dewitt Street is a north-south, largely residential street that runs the northern length of the western side of the neighborhood on a slight north east diagonal, beginning at Breckenridge Street and extending to the neighborhood's north boundary. The property is located in a residential area of the central west section of the Grant-Ferry-Forest neighborhood.

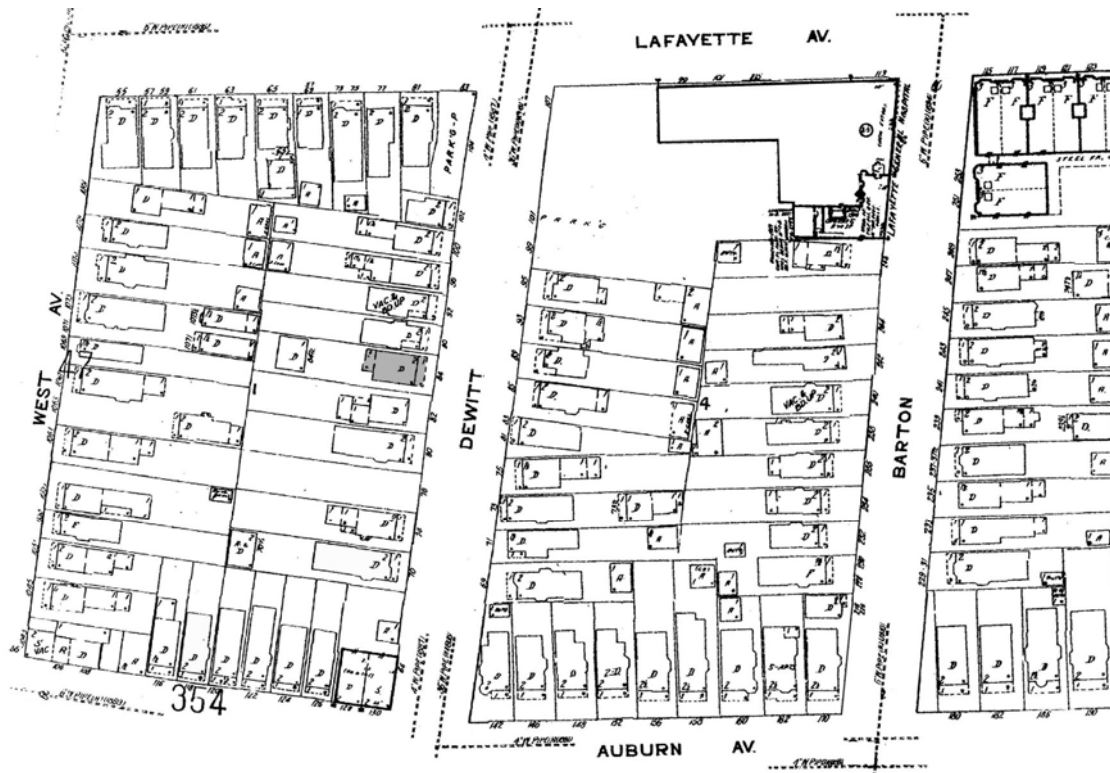
A two-story, front gabled, urban, residence with subtle mixed styling and detail. It has a rough squared plan and is set on a brick foundation. The façade has a full-width, flat roofed porch with solid wood rail and large brick piers ornamented with centered arched openings and patterned stone detailing. The main entrance is located off center to the south with a wide entry stair on the south porch elevation. A large triple window group occupies the north bay of the façade. The second floor façade has paired window groups in both side bays. A smaller paired window punctuates the gable peak. Secondary entrance visible on the south elevation. Exterior wall fabric is stucco. Fenestration is one-over-one double-hung wood sash and fixed. Brick chimney visible on the south slope. Additional detailing includes modest verge boards and trim.

A back house occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 84 Dewitt Street is significant as a good representative example of a two-story, front gabled, urban, residence with subtle mixed styling and detail. Notable brick porch piers with centered arched openings and patterned stone detailing. Built by and for George W. Gies. Urban vernacular structures and modestly styled doubles of varying Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1886) – Plate 347



PHOTOGRAPH: (Grant-Ferry-Forest: R-32; N-35)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 93 Dewitt Street

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1890

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
-------------	---	--------------------------------	--	---

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 93 Dewitt Street is set on a standard slightly diagonal lot, located on the east side of the street, on the block between Auburn Avenue and Lafayette Avenue. Dewitt Street is a north-south, largely residential street that runs the northern length of the western side of the neighborhood on a slight north east diagonal, beginning at Breckenridge Street and extending to the neighborhood's north boundary. The property is located in a residential area of the central west section of the Grant-Ferry-Forest neighborhood.

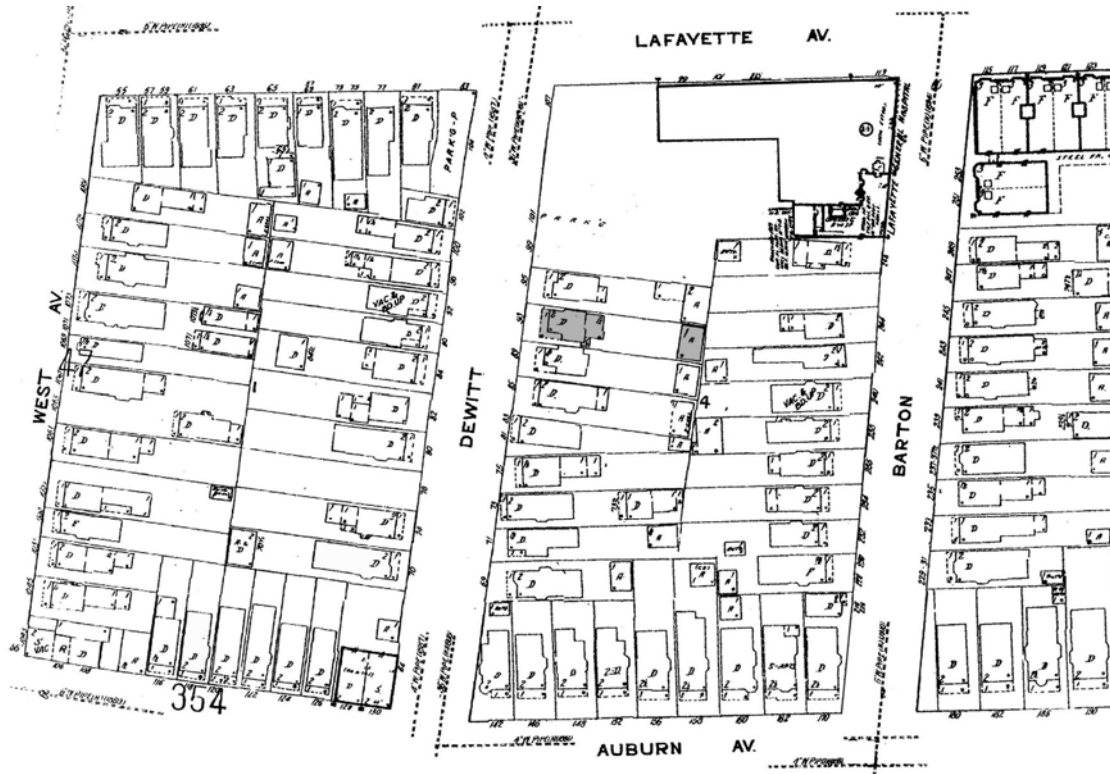
A two-story, cross gabled, urban, frame, vernacular Victorian folk house. It has a slightly irregular plan with main elled block and rear extension. The façade has a full-width, hipped roof porch with wood post supports, open wood rail, and latticed base that wraps to the south into the main ell. Front gable roofline extends on the south side into the ell, over the porch. The main entrance is located on the façade of the south wing under the porch with an entry stair in the south bay. Fenestration is simple, with one-over-one double-hung wood sash and fixed windows. A small window accents the side gable peak. Exterior wall fabric is clapboard with wood shingle. Additional detailing includes modest corner boards, framing, trim, and raked molding.

A garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 93 Dewitt Street is significant as a good representative example of a two-story, cross gabled, urban, frame, vernacular Victorian folk house. Such vernacular folk structures often embellished with modest detailing of the prevailing architectural style were a practical alternative to the more high-styled homes of the time. A design common amongst single-family residences of more modest means, though, less frequent in this neighborhood. One of four houses built on this block for Charles J. Close in 1890.

MAP: Sanborn Map (Revised 1886) – Plate 347



PHOTOGRAPH: (Grant-Ferry-Forest: R-32; N-36)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 202 Dewitt Street

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1885

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

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The single-family house at 202 Dewitt Street is set on a standard lot, located on the west side of the street, on the block between West Delavan Avenue and Potomac Avenue. Dewitt Street is a north-south, largely residential street that runs the northern length of the western side of the neighborhood on a slight north east diagonal, beginning at Breckenridge Street and extending to the neighborhood's north boundary. The property is located in a residential area of the central west section of the Grant-Ferry-Forest neighborhood.

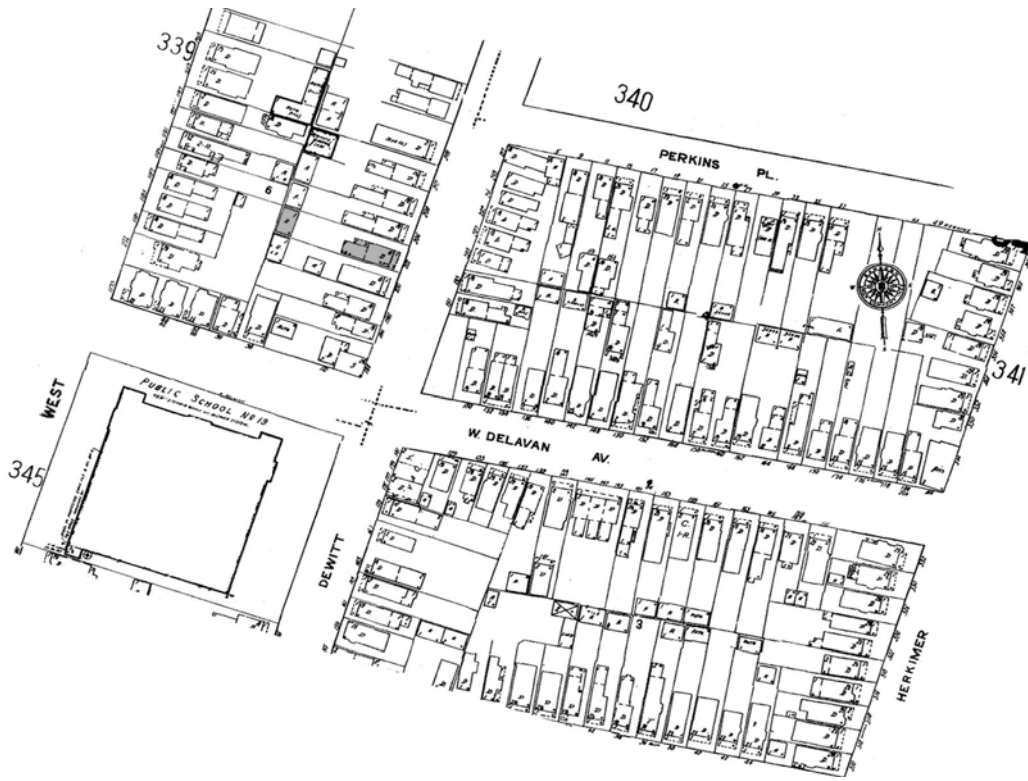
A two-story, front-gabled, vernacular, urban frame residence. It has a slight ell plan with main block and narrowed one-story rear section. The façade has a full-width porch, with square elephantine column, solid wood rail, and wide frieze. The sidelighted main entrance is located in the south bay of the façade with a small entry stair. A large window group occupies the north bay. The second floor façade is distinguished by simple symmetric fenestration. Exterior wall fabric is wood clapboard. Fenestration is one-over-one double-hung wood sash and fixed. A brick chimney rests at the rear on the central ridge. Minor detailing includes modest corner boards, framing, and ornamented raked gable trim.

A garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 202 Dewitt Street is significant as a good representative example of a two-story, front-gabled, vernacular, urban frame residence. Vernacular structures embellished with modest detailing and varying additions were a practical alternative to the more high-styled homes of the time. Houses, such as this, were common amongst early single-family residences of more modest means, though, less frequent in this neighborhood in which urban singles and doubles of Queen Anne style abound.

MAP: Sanborn Map (Revised 1986) – Plate 346



PHOTOGRAPH: (Grant-Ferry-Forest: R-32; N-37)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 203 Dewitt Street
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known c. 1885

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: asphalt shingle	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

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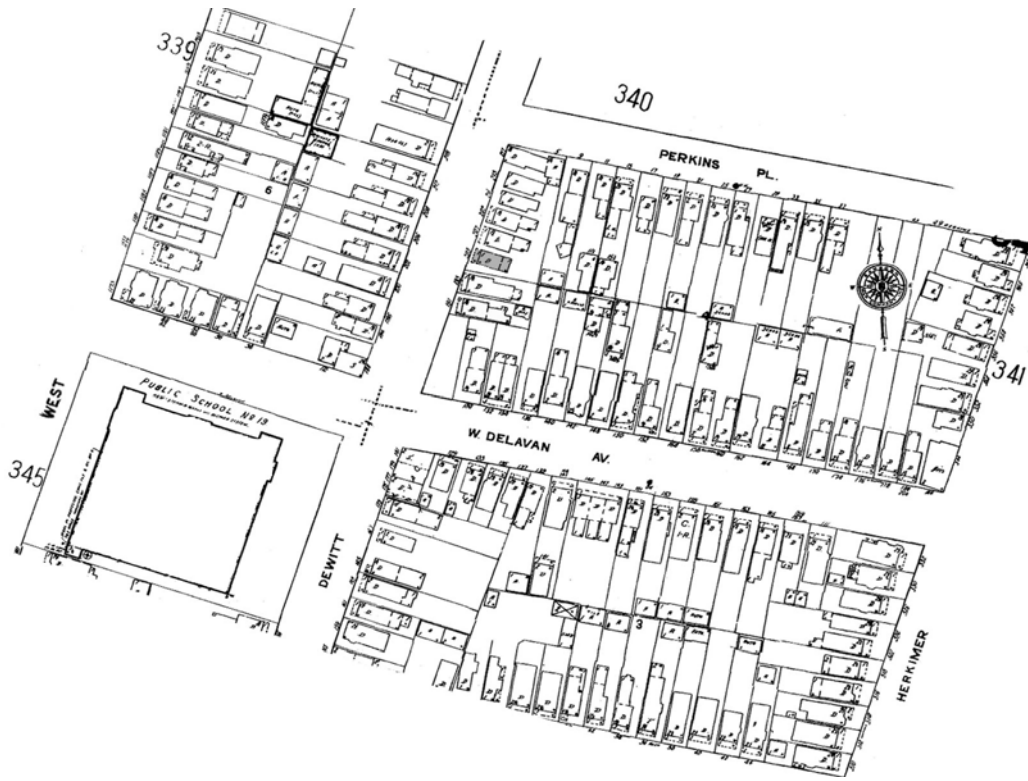
The single-family house at 203 Dewitt Street is set on a short trapezoidal lot, located on the east side of the street, on the block between West Delavan Avenue and Perkins Place. Dewitt Street is a north-south, largely residential street that runs the northern length of the western side of the neighborhood on a slight north east diagonal, beginning at Breckenridge Street and extending to the neighborhood's north boundary. The property is located in a residential area of the central west section of the Grant-Ferry-Forest neighborhood.

A one-story, front-gabled, vernacular workers' cottage with minor detailing of a mixed style. It has a rectangular plan. The façade has a full-width, flat roofed porch with square column supports, modern metal rail, wood clapboard base, modest frieze and cornice with lookout rafters, and an entry stair in the south. The main entrance is located in the south bay of the façade. A large single window occupies the north bay. Small rectangular protrusion and several paired windows visible on the south elevation. Exterior wall fabric is clapboard on the façade with asphalt shingle on the other elevations. Fenestration is one-over-one and three-over-one double-hung wood sash and fixed. Two brick chimneys rest on the south roof slope. Minor detailing includes modest corner boards, verge boards, and trim.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 203 Dewitt Street is significant as a good representative example of a one-story, front-gabled, vernacular workers' cottage with minor detailing of a mixed style. Notable workers' vernacular design characteristic of the era, though less frequent in the Buffalo Grant-Ferry-Forest neighborhood in which singles and urban doubles of Queen Anne style abound.

MAP: Sanborn Map (Revised 1986) – Plate 346



PHOTOGRAPH: (Grant-Ferry-Forest: R-33; N-1)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 220 Dewitt Street

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1885

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 220 Dewitt Street is set on a standard lot, located on the west side of the street, on the block between West Delevan Avenue and Perkins Place. Dewitt Street is a north-south, largely residential street that runs the northern length of the western side of the neighborhood on a slight north east diagonal, beginning at Breckenridge Street and extending to the neighborhood's north boundary. The property is located in a residential area of the central west section of the Grant-Ferry-Forest neighborhood.

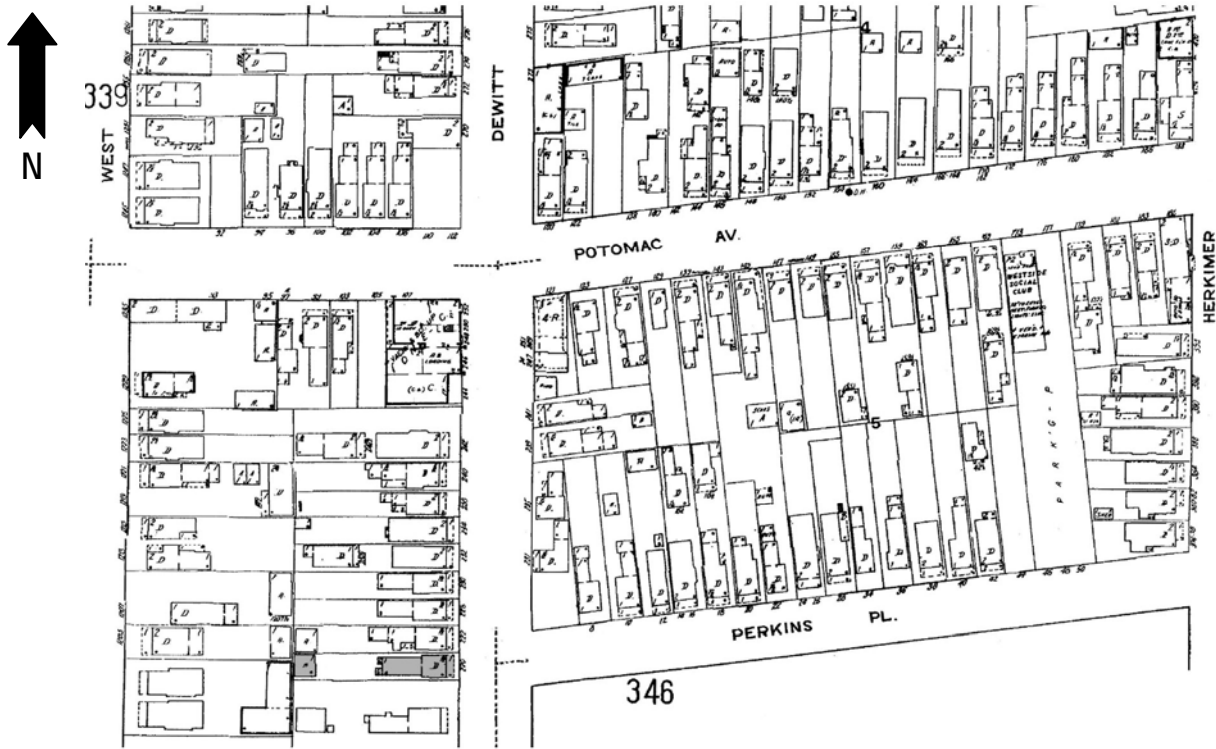
A two-story, front-gabled, vernacular, urban frame residence. It has a slight T plan with main block and narrowed one-story rear section. The façade has a full-width open porch, with modern metal rail and an entry stair on the south side. The main entrance is located in the south bay of the façade. The remainder of the façade is distinguished by simple, evenly spaced fenestration. Exterior wall fabric is wood shingle. Fenestration is one-over-one and three-over-one double-hung wood sash and fixed. A brick chimney rests on the central ridge of the rear section.

A garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 220 Dewitt Street is significant as a good representative example of a two-story, front-gabled, vernacular, urban frame residence. Vernacular structures embellished with modest detailing and varying additions were a practical alternative to the more high-styled homes of the time. Houses, such as this, were common amongst early single-family residences of more modest means, though, less frequent in this neighborhood in which urban singles and doubles of Queen Anne style abound.

MAP: Sanborn Map (Revised 1986) – Plate 340



PHOTOGRAPH: (Grant-Ferry-Forest: R-33; N-2)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 280 Dewitt Street

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1885

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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The single-family house at 280 Dewitt Street is set on a standard lot, located on the west side of the street, on the block between Potomac Avenue and Bird Avenue. Dewitt Street is a north-south, largely residential street that runs the northern length of the western side of the neighborhood on a slight north east diagonal, beginning at Breckenridge Street and extending to the neighborhood's north boundary. The property is located in a residential area of the north west section of the Grant-Ferry-Forest neighborhood.

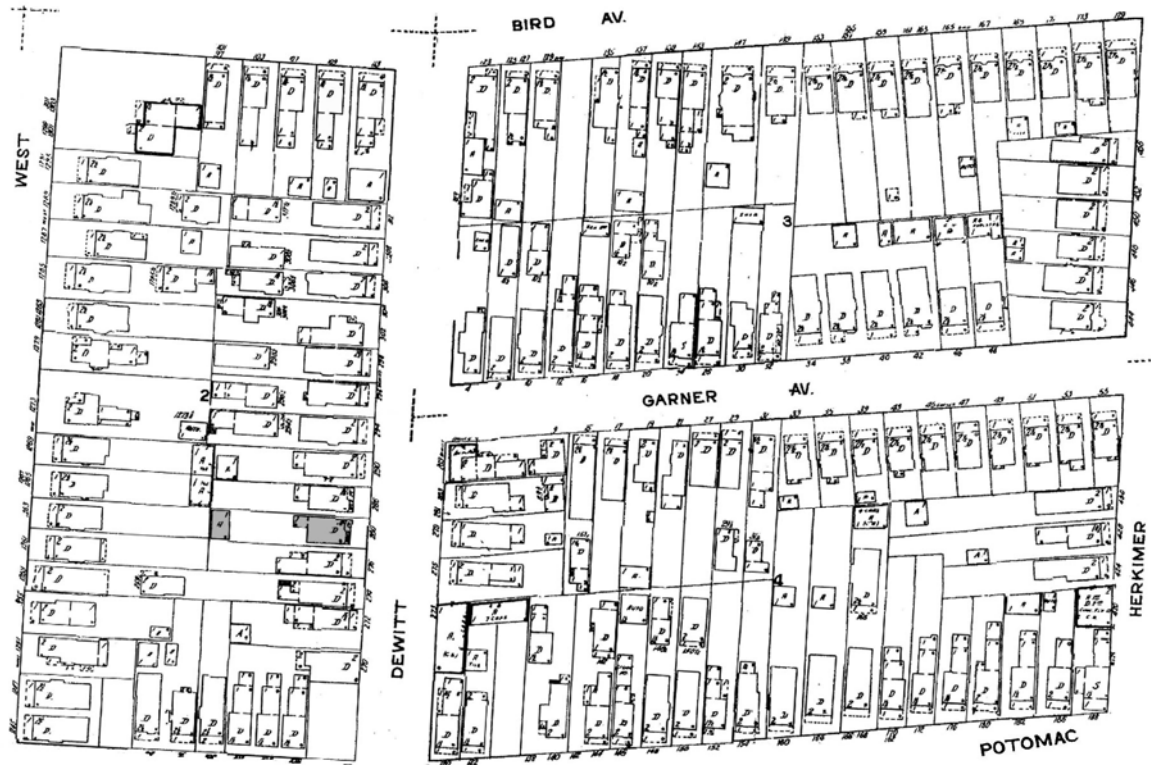
A two-story, front gambreled, vernacular, urban frame residence with Dutch Colonial revival influences. It has a rough rectangular plan. The façade has a full-width, porch with 3/4-height square column supports set on solid shingled rail that extends over the foundation, wide frieze, enclosed side windowing, and an entry stair in the north. The main entrance is located on the façade, off center to the north. A polygonal bay occupies the south bay. The second floor façade has an open porch with wood posts and open wood rail, and is distinguished by an enframed central triple window group with alterations. Exterior wall fabric is clapboard. Fenestration is one-over-one double-hung wood sash and fixed. Minor detailing includes modest framing and trim.

A garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 280 Dewitt Street is significant as a good representative example of a two-story, front gambreled, vernacular, urban frame residence with Dutch Colonial revival influences, uncommon in the Grant-Ferry-Forest neighborhood, though characteristic of the era and late period.

MAP: Sanborn Map (Revised 1986) – Plate 340



PHOTOGRAPH: (Grant-Ferry-Forest: R-33; N-2)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 346 Dewitt Street
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known c. 1905

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input type="checkbox"/> asphalt, shingle	<input checked="" type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 346 Dewitt Street is set on a standard lot, located on the west side of the street, on the block between Bird Avenue and Forest Avenue. Dewitt Street is a north-south, largely residential street that runs the northern length of the western side of the neighborhood on a slight north east diagonal, beginning at Breckenridge Street and extending to the neighborhood's north boundary. The property is located in a residential area of the north west section of the Grant-Ferry-Forest neighborhood.

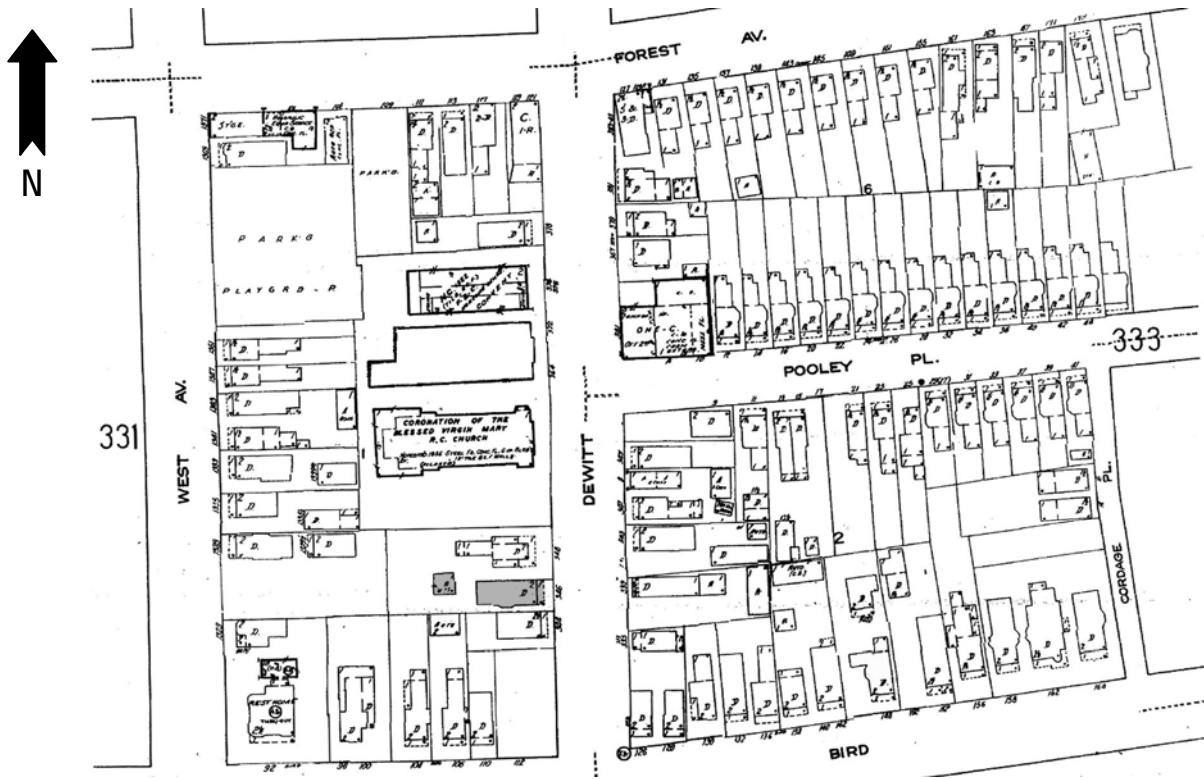
A two-and-one-half story, cross gabled, urban, frame residence with Queen Anne styling. It has a rough rectangular plan and is set on a stone foundation. The façade has a narrow, full-width, flat roofed porch with large wood post supports, lattice rail, partially lattice enclosed sides, flat frieze, and an entry stair in the north. The modestly framed main entrance is located in the north bay. A large window with transom occupies the south bay. The second floor façade has a polygonal oriel in the south bay and a curved projection with centered French doors in the north, both are flush beneath the slightly projecting front gable end. A small polygonal oriel punctuates the front gable peak. A two-story projecting, polygonal bay is visible on the south elevation beneath the slightly protruding side cross gable. Exterior wall fabric is clapboard and wood shingle. Fenestration is one-over-one double-hung wood sash and fixed. Brick chimney visible on the rear slope of the side gable. Additional detailing includes modest corner boards, frieze, framing, and lookout rafters.

A garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 346 Dewitt Street is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame residence with Queen Anne styling. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 332



PHOTOGRAPH: (Grant-Ferry-Forest: R-33; N-4)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) Coronation Church

Address or Street Location 348 Dewitt Street

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Religious Current use Religious

Architect/Builder, if known Mortimer J. Murphy Date of construction, if known 1955-1956

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input checked="" type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

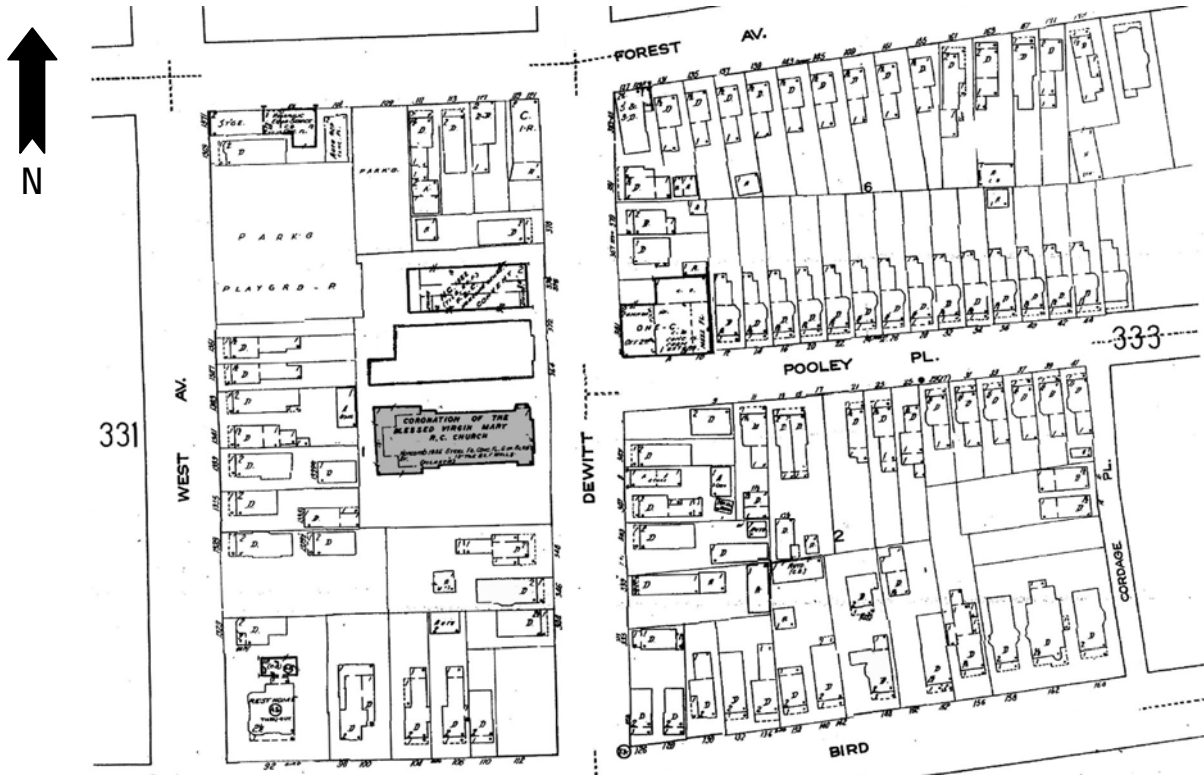
The building at 348 Dewitt Street is set on a large lot, located on the west side of the street, on the block between Bird Avenue and Forest Avenue. Dewitt Street is a north-south, largely residential street that runs the northern length of the western side of the neighborhood on a slight north east diagonal, beginning at Breckenridge Street and extending to the neighborhood's north boundary. The property is located in a residential area of the north west section of the Grant-Ferry-Forest neighborhood.

An ecclesiastical building of brick and stone construction and Gothic influenced style. Front gabled with large forward parapet accented with a small bell tower; small cross gabling at the front with modest parapets. Large arched double door entrance with recessed stone surround located centrally on the façade and similar smaller entrances set to either side; all reached by wide stairs. Upper façade dominated by a large central pointed arched window with recessed stone surround and decorative paning; similar smaller windows set to either side. Buttressing and large regular windowing define the side elevations.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 348 Dewitt Street is significant as a good representative example of an ecclesiastical building of brick and stone construction and Gothic influenced style. Built as the Coronation of the Blessed Virgin Roman Catholic Church. This parish was founded in 1950 to relieve overcrowding at Annunciation Church.

MAP: Sanborn Map (Revised 1986) – Plate 332



PHOTOGRAPH: (Grant-Ferry-Forest: R-1; N-27)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) Coronation School

Address or Street Location 348 Dewitt Street

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Educational/Religious Current use Educational/Religious

Architect/Builder, if known Mortimer J. Murphy Date of construction, if known 1951-1952/1955-1956

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input checked="" type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

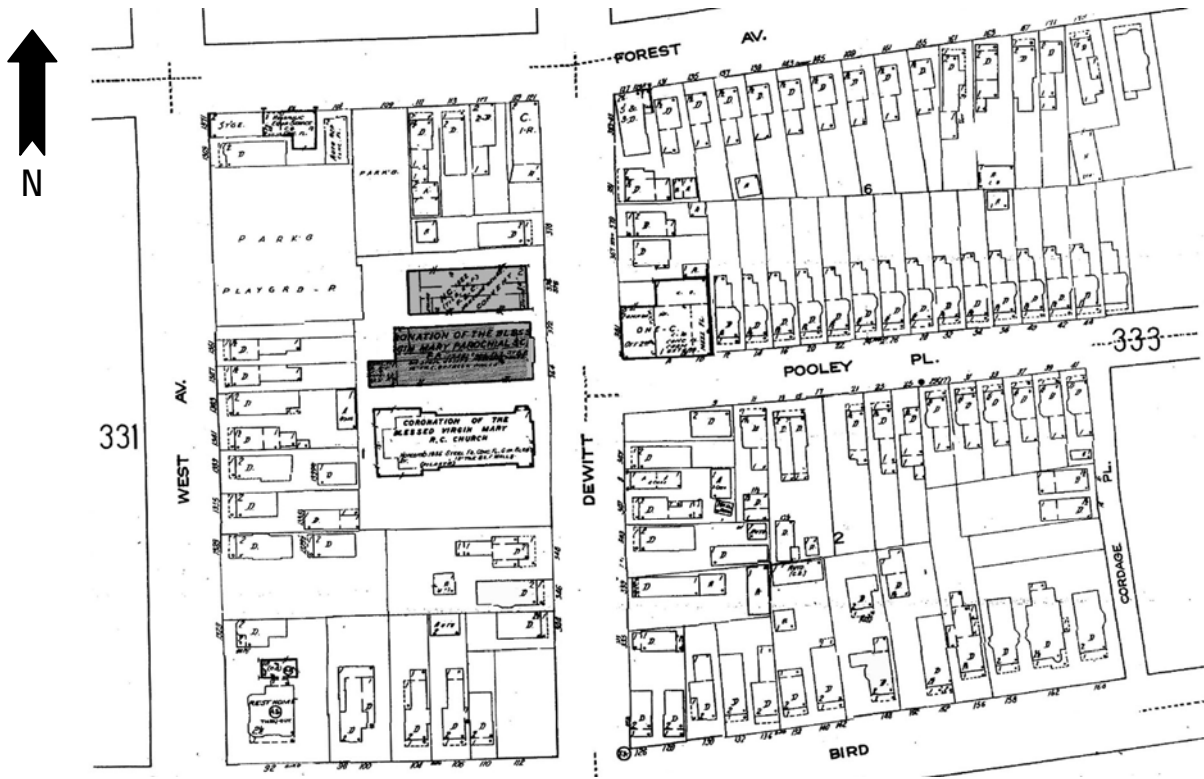
The buildings at 348 Dewitt Street are set on a large lot, located on the west side of the street, on the block between Bird Avenue and Forest Avenue. Dewitt Street is a north-south, largely residential street that runs the northern length of the western side of the neighborhood on a slight north east diagonal, beginning at Breckenridge Street and extending to the neighborhood's north boundary. The property is located in a residential area of the north west section of the Grant-Ferry-Forest neighborhood.

A set of modern mid-nineteenth century buildings. Set on stone foundations, both are of simple brick and stone construction and have regular rectangular plans. Flat roofed and two-stories in height, the facades and elevations are defined by regular, even spaced, double-hung window groupings of varying lights with modest stone sills.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The buildings at 348 Dewitt Street are significant as a good representative example of a set of mid-nineteenth century, two-story, flat roofed, modern brick and stone buildings. School buildings built for the adjacent Coronation of the Blessed Virgin Roman Catholic Church. The north building was built first.

MAP: Sanborn Map (Revised 1986) – Plate 332



PHOTOGRAPH: (Grant-Ferry-Forest: R-19; N-35)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 15 Dorchester Road
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known Simon Larke Date of construction, if known 1905

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

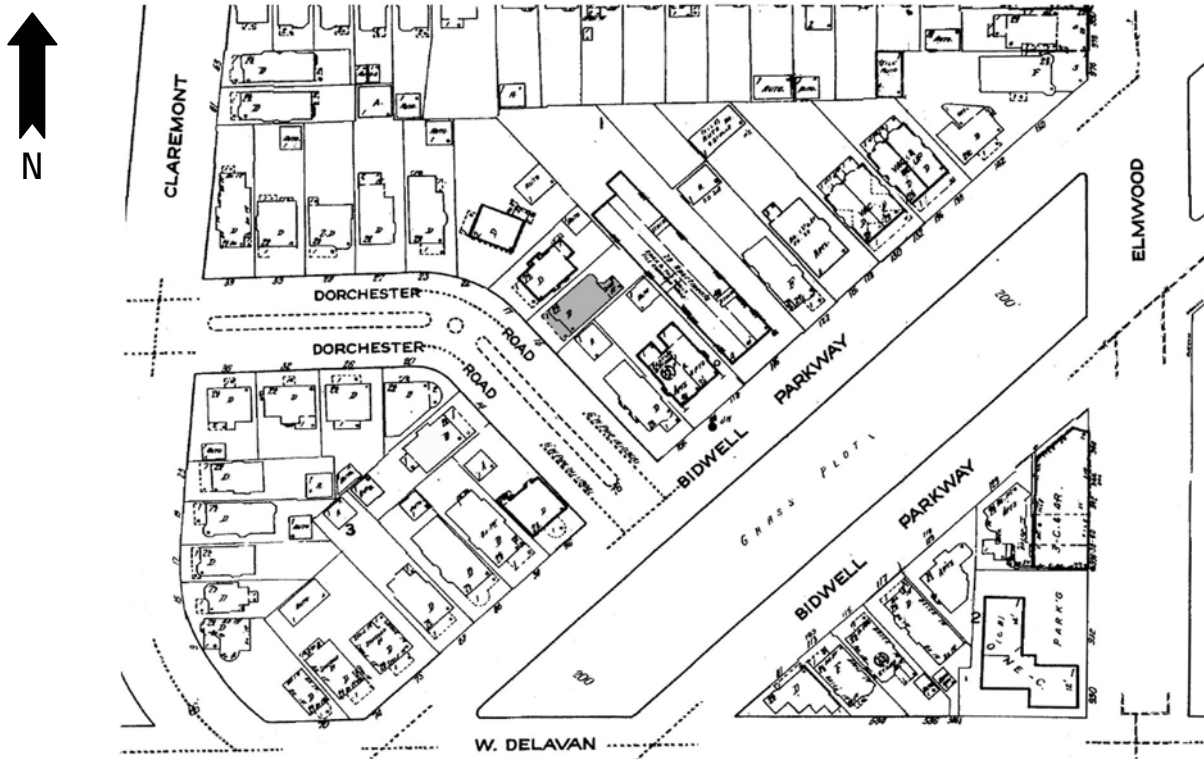
The single family house at 15 Dorchester Road is set on a slightly shortened lot, located on the north side of the street, on the irregular curved block between Claremont Avenue and Bidwell Parkway. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, substantial cross gabled, urban frame, modest frame residence. It has a regular rectangular plan and is set on a stone foundation. The façade has a full-width, hipped roof porch with decorative scrolled metal supports and rail, ornamented frieze and cornice with brackets, and an entry stair in the east. The main entrance is located on the façade, off center to the east. A squat single window sets next to the entrance, in the far east bay. A polygonal bay with triple windowing occupies the west bay. The second floor façade is defined by matching polygonal oriels in either side bay, flush beneath the pent of the enclosed gable end. A Palladian window punctuates the front gable end. Tall brick chimney on the front slope of the side cross gable. Exterior fabric is wood shingle. Fenestration is primarily one-over-one double hung wood sash and fixed. Additional detailing includes noted frieze with extensive bracketing, trim molding, and framing.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 15 Dorchester Road is significant as a good representative example of an architect designed two-and-one-half story, substantial cross gabled, urban frame, modest Queen Anne styled residence. Styled urban singles of varying Queen Anne influence, such as this, were common housing for middle and more modest upper class families of the late nineteenth and early twentieth centuries on the West Side. Built for W. C. Barker to the designs of a Niagara Falls architect, Simon Larke. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-12)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 19 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1920

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The building at 19 Dorchester Road is set on a fairly large irregular trapezoid lot, located on the north side of the street, on the irregular curved block between Claremont Avenue and Bidwell Parkway. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

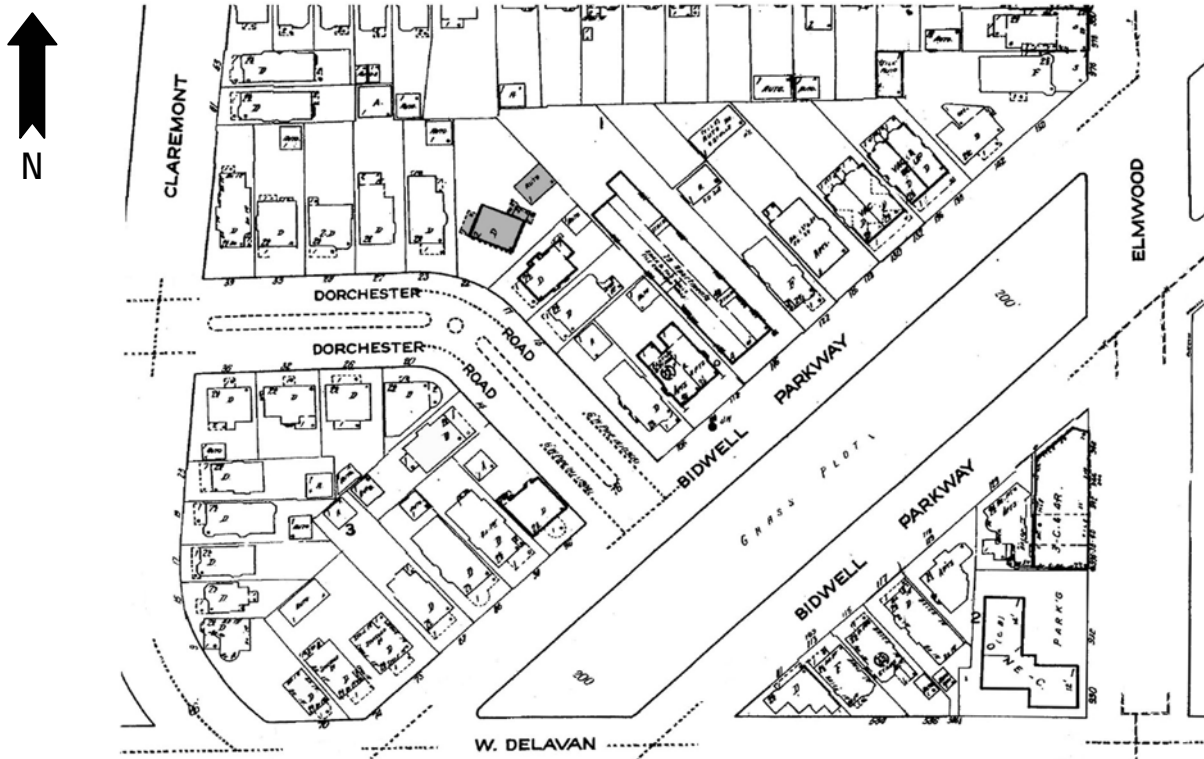
A two-and-one-half story, side gabled, urban Colonial Revival residence. It has a slightly irregular plan with rectangular main block and a small one story wing to the west and rear extension in the east. The main entrance with elaborate pediment surround is located centered on the façade. The lower façade is distinguished by symmetric windowing, two large single windows with recessed arch surround and lower framing on either side bay. The second floor façade is defined by simple symmetric single windowing matching the established spacing of the lower fenestration. Three small gabled dormers with single window accent set spaced evenly across the front roof slope. Exterior brick chimneys bisect both side gable ends. Exterior fabric is brick with wood clapboard on the dormers. Fenestration is primarily six-over-six double hung wood sash and fixed. Additional detailing includes noted frieze with ornament, trim molding, and framing.

A large two-story garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 19 Dorchester Road is significant as a good representative example of two-and-one-half story, side gabled, urban Colonial Revival residence. More styled than some, urban singles of varying design, such as this, were typical housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-14)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 26 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known _____

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

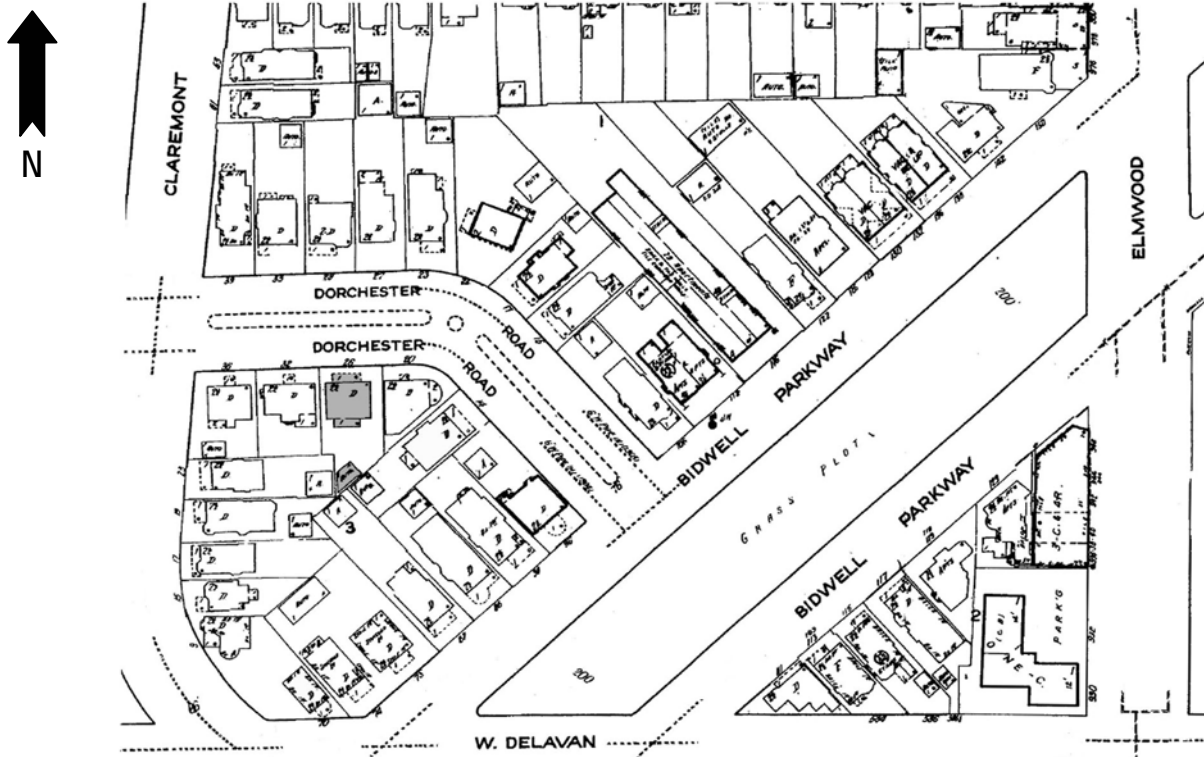
The building at 26 Dorchester Road is set on a short slightly irregular lot, located on the south side of the street, on the irregular curved block between Claremont Avenue and Bidwell Parkway. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

A two story, side gabled, urban Colonial Revival styled residence. It has a shortened rectangular plan and is set on a stone foundation. The façade has a ¾ width, flat roofed, enclosed porch to the west, with Tuscan columns, elongated multiple pane windowing on the upper portion, patterned wood base with spindled wood rail running in front, elaborate entablature with ornamented modillions and medallions, and a railed entry stair at the east side. The main entrance is located centrally on the façade, within the porch. The remaining lower façade in the east has a cutaway corner and is distinguished by two single windows of varying size. The second floor façade is defined by symmetric simple windowing with shutters in either side bay and a smaller centered single window with modest surround. A Palladian window accents the side gable peak. Rear central extension. Exterior fabric is rough edge wood clapboard. Fenestration is eight-over-one, six-over-six, and one-over-one double hung wood sash and fixed. Additional detailing includes noted frieze and cornice with ornament, trim molding and framing.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 26 Dorchester Road is significant as a good representative example of a two story, side gabled, urban Colonial Revival styled residence. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence with most common on the West Side. Built for Henry Colgrove. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-4; N-20)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 36 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1905

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 36 Dorchester Road is set on a short corner lot, located on the south side of the street, on the irregular curved block between Claremont Avenue and Bidwell Parkway, at the east side of the intersection of Dorchester Road and Claremont Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

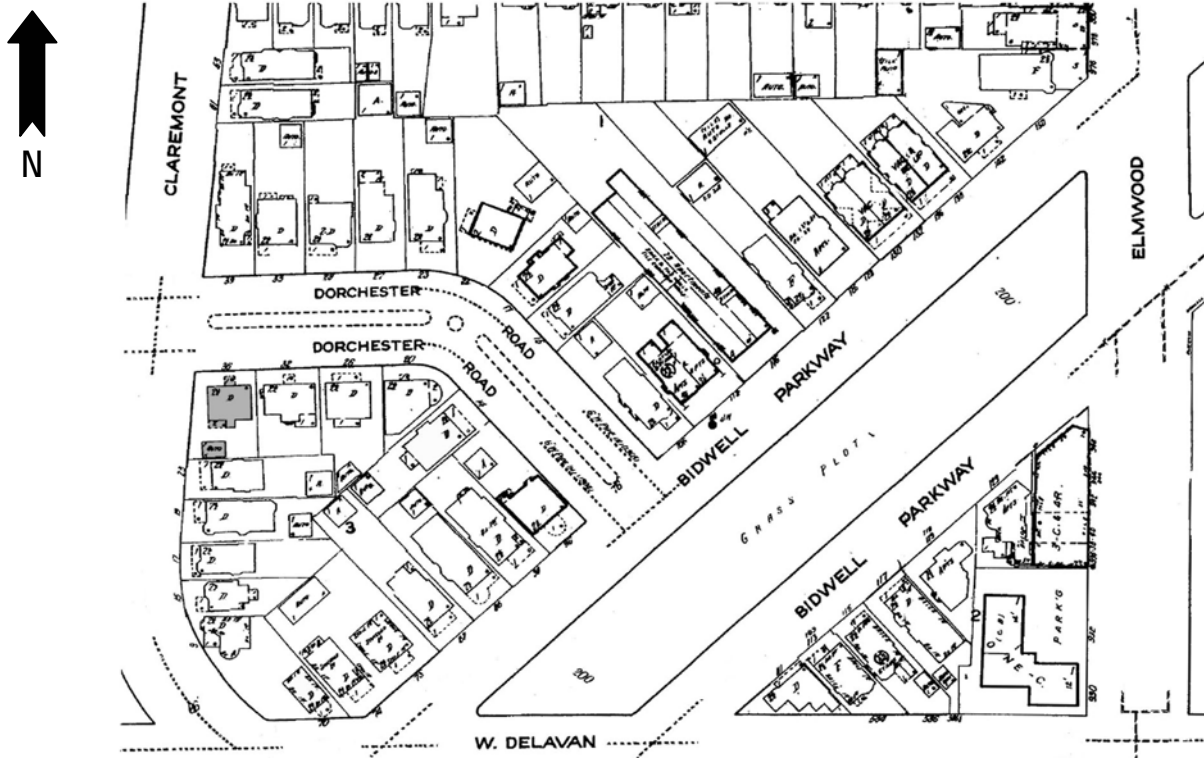
NON-CONTRIBUTING

A two-story, side gabled urban Colonial Revival styled residence.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 36 Dorchester Road is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains its initial styling and character, despite the changes in exterior fabric.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-21)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 48 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known George F. Townsend Date of construction, if known 1905

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 48 Dorchester Road is set on a short corner lot, located on the south side of the street, on the block between Richmond Avenue and Claremont Avenue, at the west side of the intersection of Dorchester Road and Claremont Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

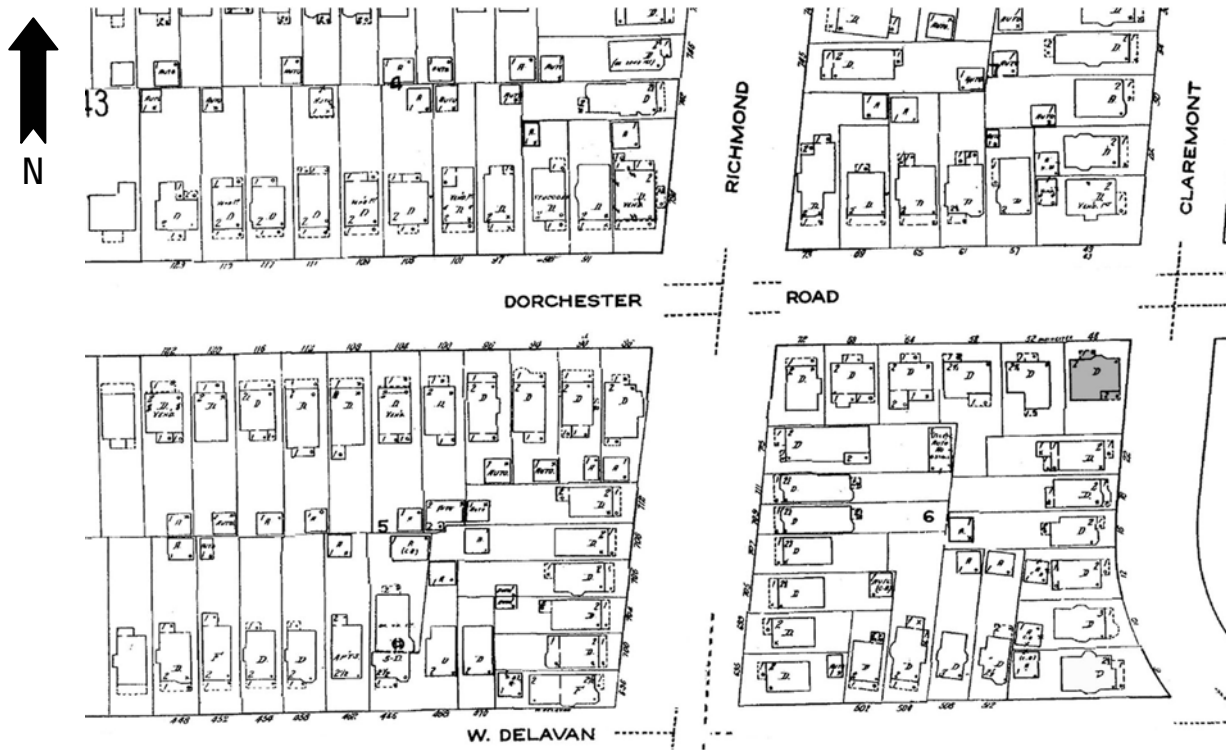
NON-CONTRIBUTING

A two-story, side gabled, urban residence of Colonial Revival design with mixed Craftsman elements.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 48 Dorchester Road is significant as a non-contributing, architect designed building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains its initial styling and character despite the changes to the exterior fabric to altered asbestos shingling. Built for J. W. Ellis

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-4; N-22)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 52 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1909

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

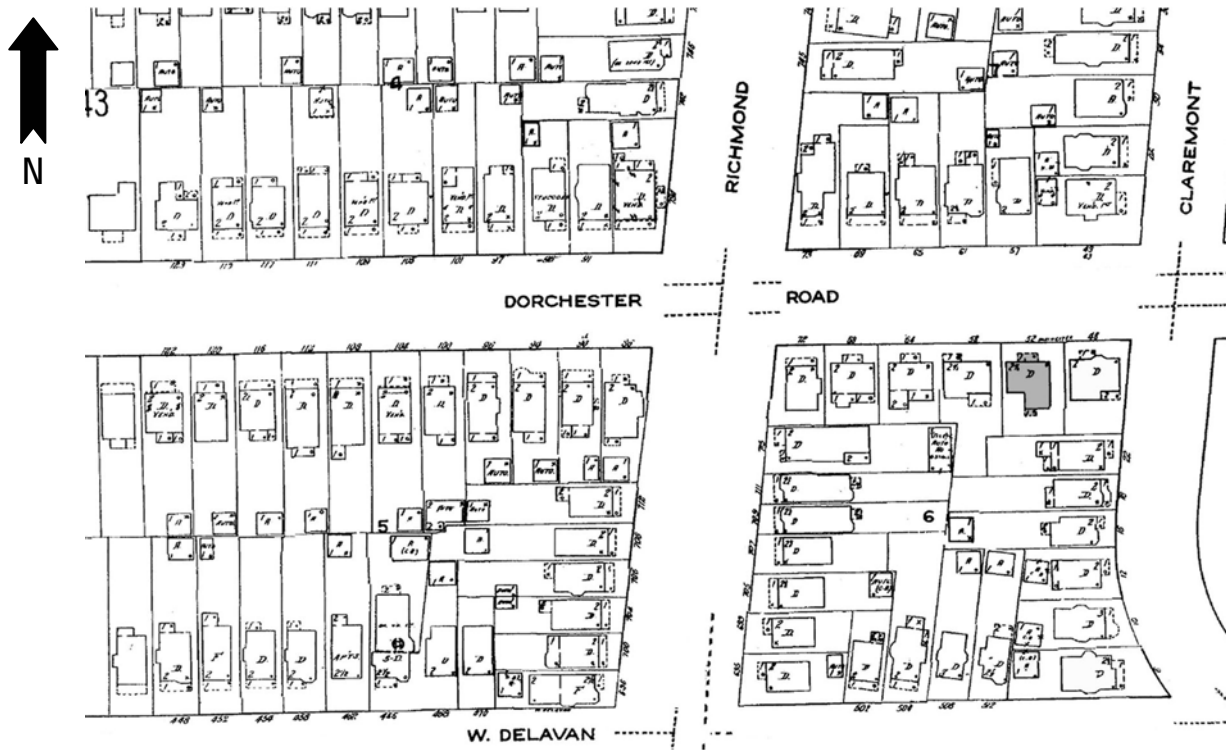
The single family house at 52 Dorchester Road is set on a short lot, located on the south side of the street, on the block between Richmond Avenue and Claremont Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

A two story, side gabled, urban, frame residence of Colonial Revival design and style with mixed Craftsman detail. It has an elled plan and is set on a low stone foundation. The façade has a centered ½-width, hipped roofed, porch with square elephantine clapboard covered columns that extended into the clapboard covered foundation, open wood rail, and frieze with subtle pointed arch cut-out, extended eaves and railed entry stair to the east. The framed and sidelighted main entrance with shuttering is located centrally on the façade, within the porch. A framed paired window sets centered in each side bay to either side of the porch. The second floor façade is defined by paired windows centered in either side bay over the lower fenestration, and a smaller centered paired window. A flared hipped roof dormer with small quartet multi-paned ribboned window accent sets centered on the front slope. Side gable peak punctuated by windowing. Small, suspended, first story roofed rectangular bay with windowing to the front of the east elevation. Brick chimney visible at the center ridge to the far west. Exterior fabric is wood clapboard. Fenestration is twelve-over-one, nine-over-one, and one-over-one double hung wood sash and fixed with multiple panes. Additional detailing includes wide overhanging eaves and exposed rafter tails.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 52 Dorchester Road is significant as a good representative example of a two story, side gabled, urban, frame residence of Colonial Revival design and style with mixed Craftsman detail. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. Built for Woodward Construction Co. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-4; N-24)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 57 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1905

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 57 Dorchester Road is set on a short lot, located on the north side of the street, on the block between Richmond Avenue and Claremont Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

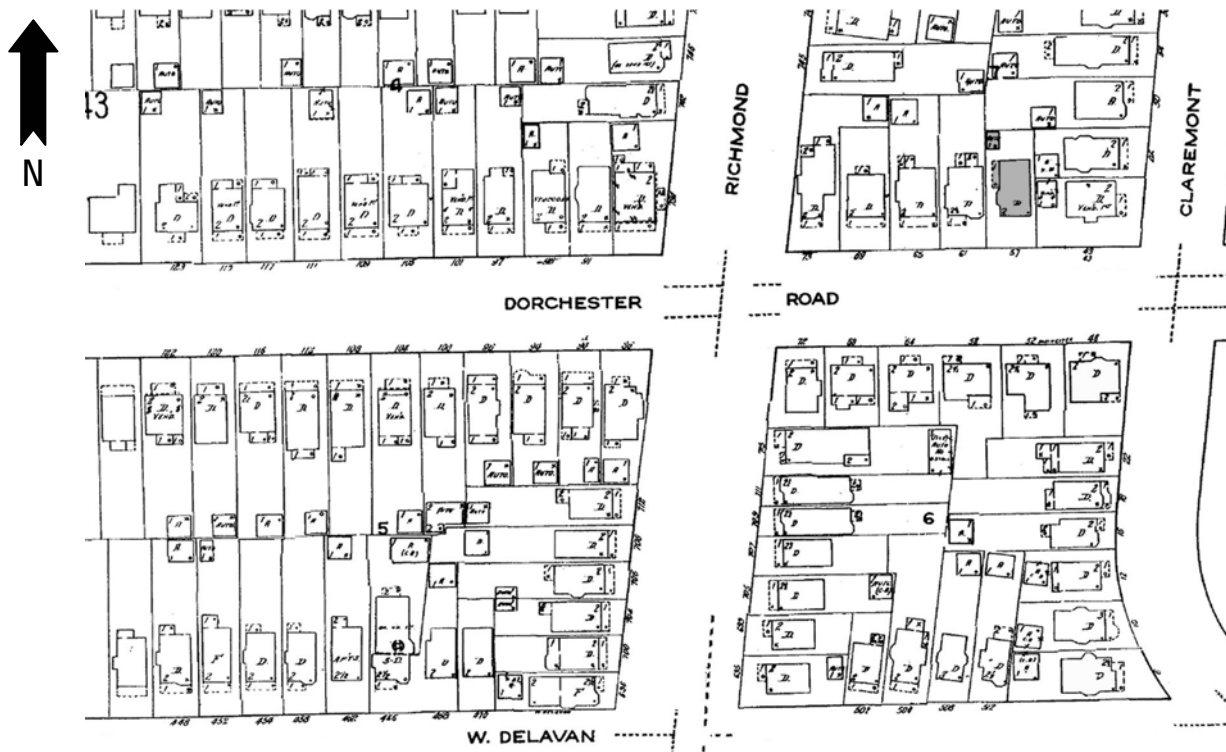
NON-CONTRIBUTING

A two-story. Hipped roof, urban frame residence of high Queen Anne styling.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 57 Dorchester Road is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics of altered asbestos shingling, the residence retains its initial styling, character and detail.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-22)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 75 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known William C. McCormack, bldr Date of construction, if known 1909

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

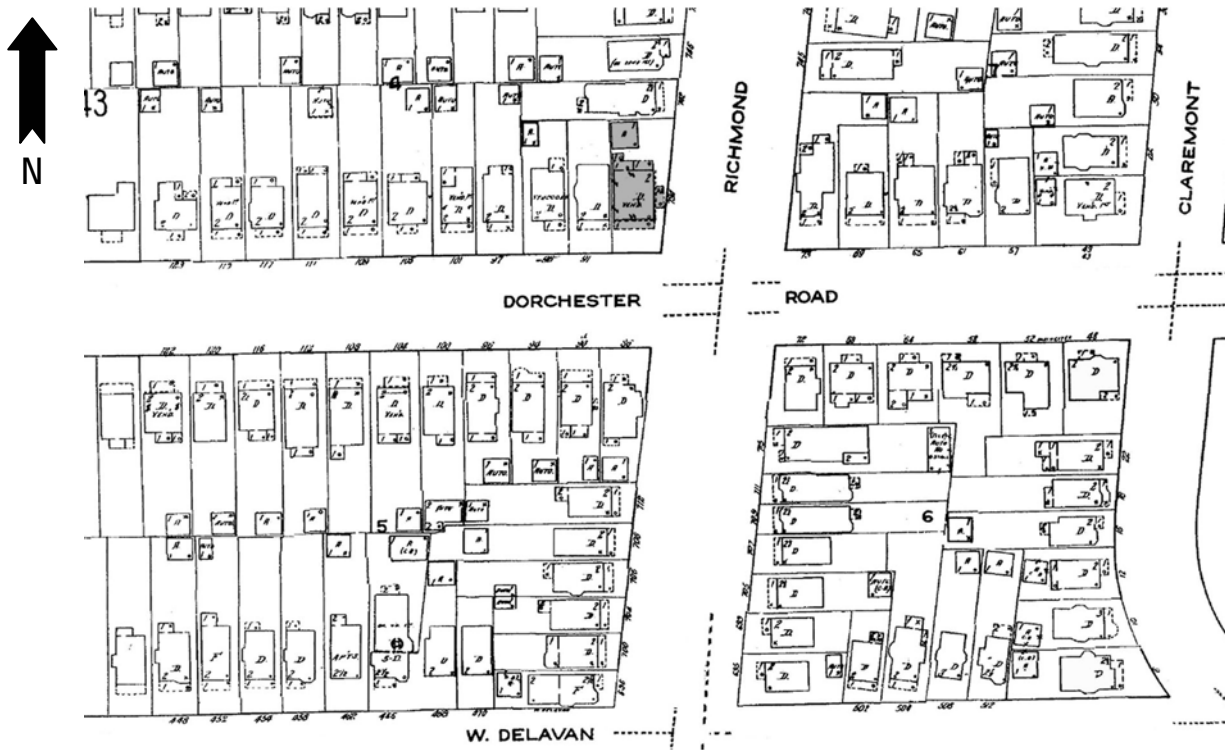
The single family house at 75 Dorchester Road is set on a trapezoidal corner lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue, at the west side of the intersection of Dorchester Road and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

A two story, hipped roofed, urban residence of Colonial Revival styling. It has a squared plan. The house is oriented fronting Richmond Avenue. The façade has a centered, full-height, flat roof entry porch with fluted Doric columns set on patterned wood piers, spindled wood rail, large elaborate entablature and forward entry stair. The main entrance with elaborate surround is located centrally on the façade, under the porch. An ornate bracketed second story balcony with entrance set over the main entrance. Symmetric single windowing defines the side bays. A hipped roof dormer with Palladian window accents sets centered on the façade's roof slope. The elevation fronting Dorchester has a full-width, flat roof porch with 3/4-hieght fluted Ionic columns set on capped brick piers that flow into the solid brick rail and foundation and large detailed entablature. A framed paired window sets centered in each side bay to either side of the porch. The second floor is define by single windows centered in either side bay over the lower fenestration, and a smaller centered paired window. A hipped roof dormer with small paired window accent sets center on the above roof slope; brick chimney visible to the east of the dormer. Exterior fabric is brick. Fenestration is primarily one-over-one double hung wood sash and fixed, stone sills and lintels. Additional detailing includes wide entablature with frieze and various molding trims.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 75 Dorchester Road is significant as a good representative example of a two story, hipped roofed, urban residence of Colonial Revival styling. Styled urban singles of varying style, such as this, were typical housing for middle and more modest upper class families of the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. Built for Henry W. Killeen. A Contributing building of the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-27)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 86 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known McCreary, Wood & Bradney Date of construction, if known 1908

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
-------------	---	--------------------------------	--	---

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 86 Dorchester Road is set on a slightly trapezoidal corner lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue, at the west side of the intersection of Dorchester Road and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

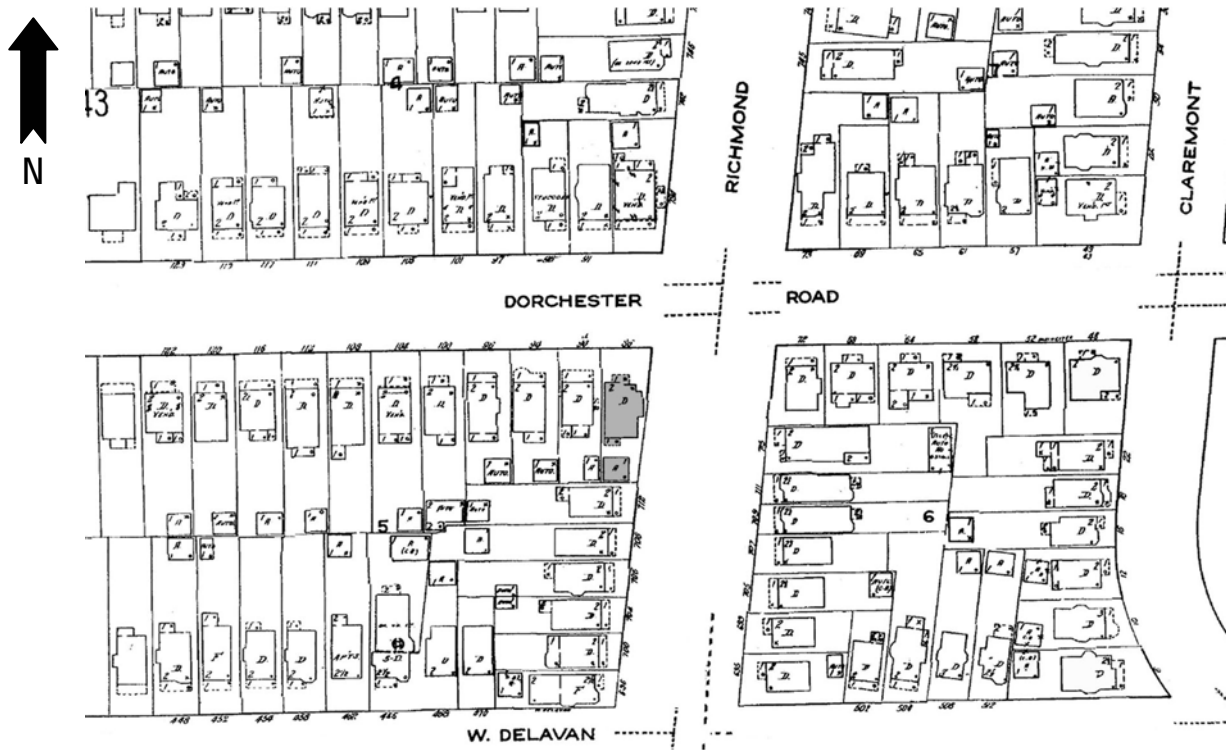
NON-CONTRIBUTING

An architect designed, two-story, cross gabled, urban residence of mixed period design and style.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 86 Dorchester Road is significant as a **non-contributing** building to the Richmond Avenue – Ashland Avenue Historic District. The residence retains its initial styling and character despite changes of exterior fabric of altered vinyl siding. Built by architect Charles S. Wood for his own residence

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-18; N-21)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 90 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known Stephen R. Berry Date of construction, if known 1909

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: rock aggregate	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input checked="" type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 90 Dorchester Road is set on a shortened lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

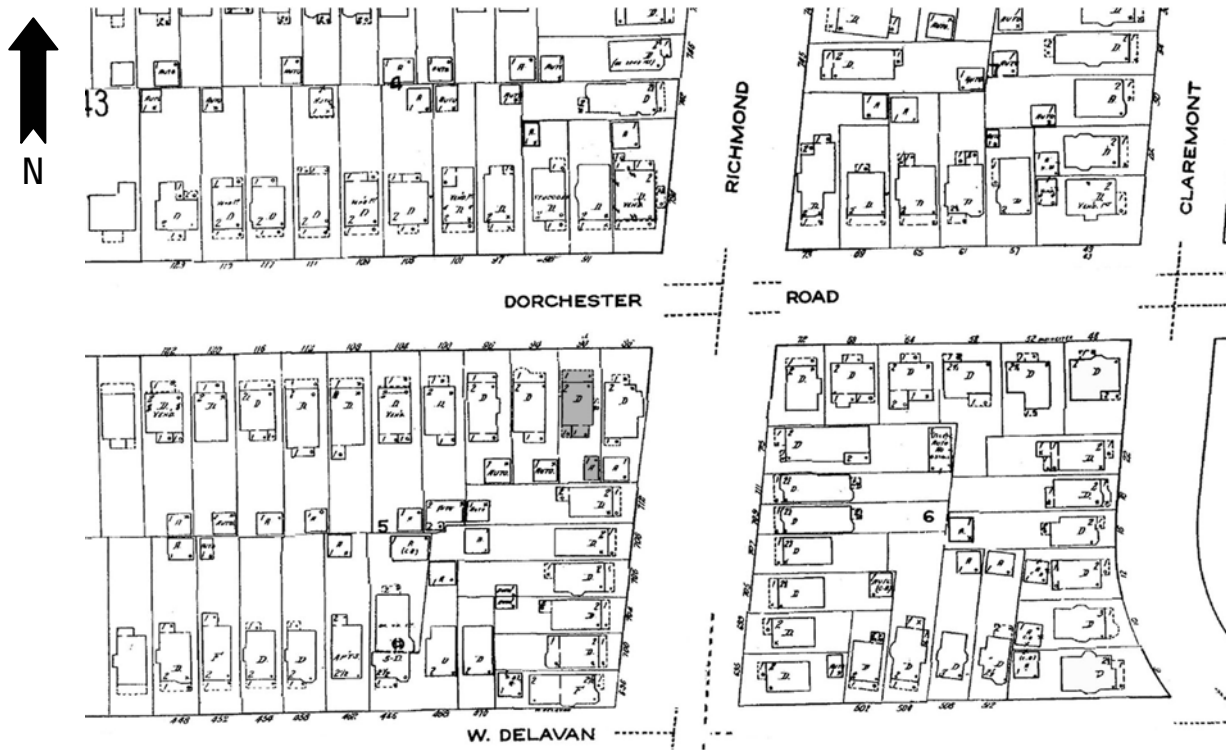
A two-story, hipped roofed, urban residence of foursquare influenced design and Prairie styling. It has a rough squared plan. The façade has a full-width, flat roofed porch with thick square rock aggregate covered columns with brackets capitals, extended solid capped brick rail, wide eaves, noted frieze with flattened arch cut-outs, windowed west side enclosure, and central entry stair. The modestly framed main entrance is located in the east bay of the façade. A slim single window sets next to the entrance, in the far east bay. A large multi-paned triple window group occupies the west bay. The second floor is defined by matching windows in either side bay. A low hipped roof dormer with small ribboned triple windowing accent sets centered on the front slope. Similar dormer on the east and west roof slopes. Roofed secondary side entrance on the east elevation. Brick chimneys visible on both side slopes. Exterior fabric is rock aggregate facing. Fenestration is primarily one-over-e double hung wood sash and fixed, with multiple panes. Additional detailing includes wide eaves and modest trim.

A garage sets in the rear east corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 90 Dorchester Road is significant as a good representative example of a two-story, hipped roofed, urban residence of foursquare influenced design and Prairie styling. Uncommon Prairie style, though styled urban singles of varying design, such as this, were typical housing for middle ad more modest upper class families in the late nineteenth and early twentieth centuries; those of heavy Queen Anne influence were more common On the West Side. This street is one f the few l the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for F. N. Trevor. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District..

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-4; N-29)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 91 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1910

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

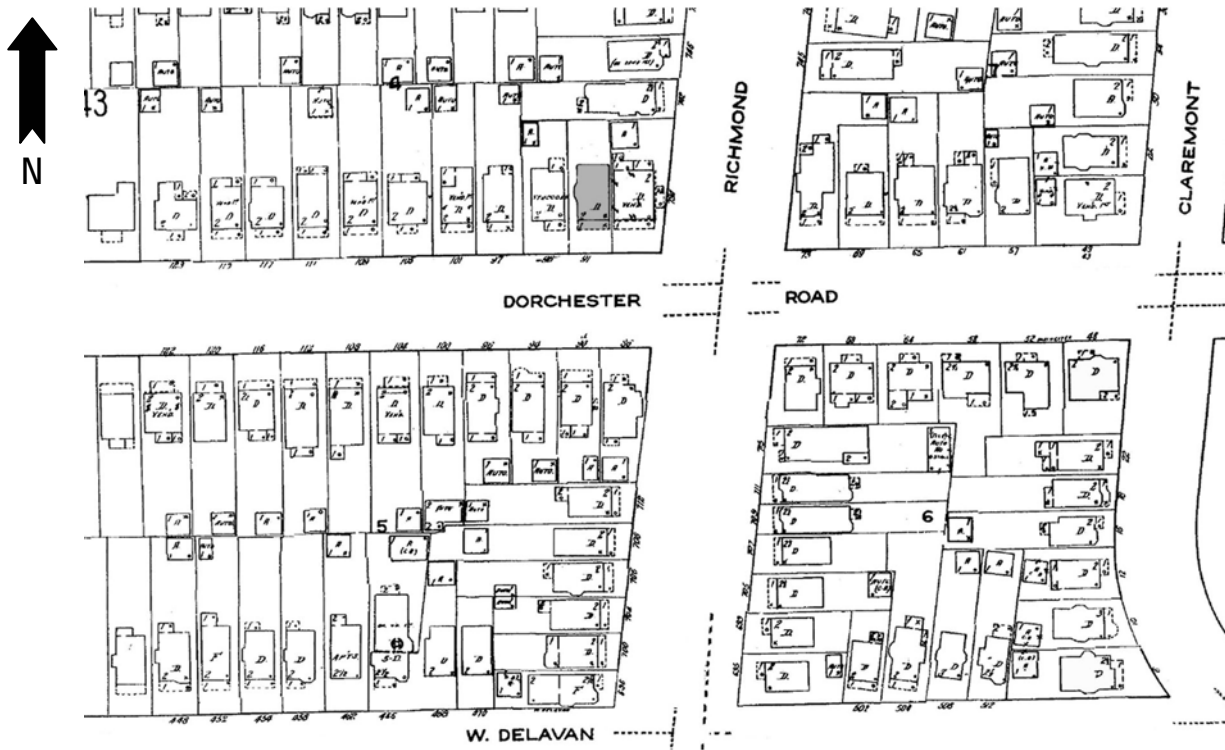
The single family house at 91 Dorchester Road is set on a shortened lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, frame residence with vernacular Queen Anne style. It has a rough shortened rectangular plan. The façade has a full-width, hipped roof porch with fluted Ionic columns, spindled wood rail, plain frieze, and 1/3-width pediment off center to the east over the railed entry stair. The main entrance is located on the façade off center to the east, set within a shallow vestibule with multi-paned windowing enclosure. A single window sets next to the entrance, in the far east bay; two evenly spaced singles windows set in the west bay. The second floor has a single window with leaded upper and a polygonal oriel with triple windowing in the west beneath the pent of the enclosed gable end. A triple window group punctuates the decoratively shingled gable end. Small roofed first story bay window to the front elevation. Exterior fabric is wood clapboard with decorative shingle. Fenestration is primarily one-over-one double hung wood sash and fixed; 4/1 and 6/1 lights in the gable window. Additional detailing includes small corner boards and frieze with exposed rafter tails.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 91 Dorchester Road is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence with vernacular Queen Anne style. Style Durban singles of varying Queen Anne influence, such as this, were common housing for middle and more modest upper class families in the late nineteenth centuries on the West Side, though this street is one of the few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings indicative of the slightly later building period.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-28)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 94 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known Jacob S. Hausauer Date of construction, if known 1909

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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The single family house at 94 Dorchester Road is set on a shortened lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

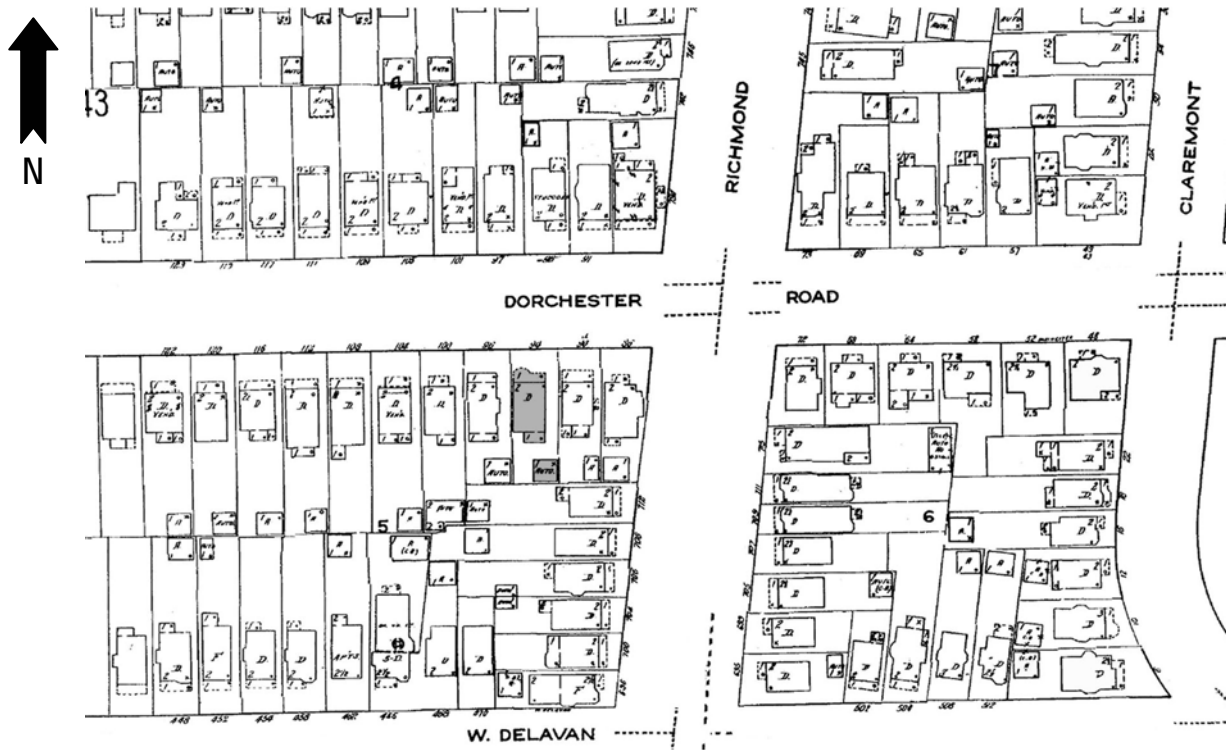
NON-CONTRIBUTING

A two-story, hipped roofed, urban residence of foursquare influenced design and mixed Queen Anne styling.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 94 Dorchester Road is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics of altered asbestos shingling, the residence retains some of its initial styling and character. Built for Frank C. Hall

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-15; N-13)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 95 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1909

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

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Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

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PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 95 Dorchester Road is set on a shortened lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

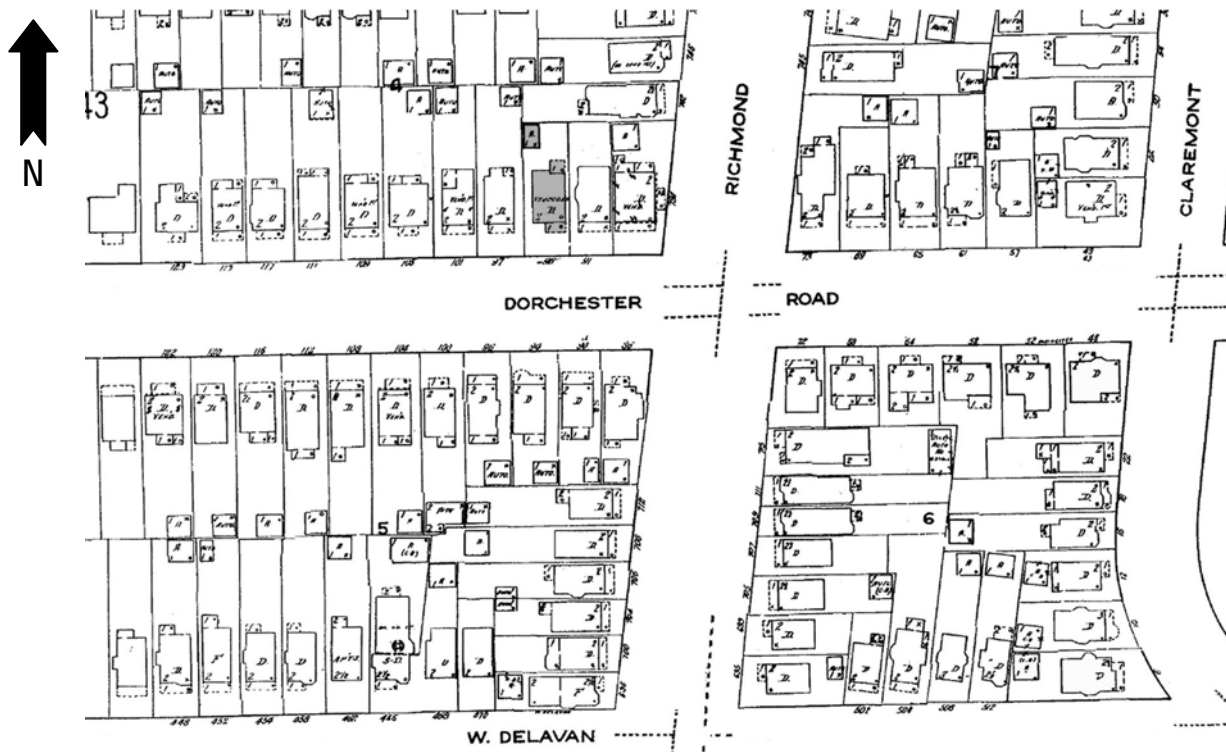
A two-story, hipped roofed, urban residence of foursquare influenced design in Craftsman styling. It has a rough squared plan, with small rear extension in the east. The façade has a 2/3-width, hipped roof, enclosed living porch to the east, with ribboned windowing on the façade and wide eaves with exposed rafter tails. The main entrance is located in a small enclosed entry porch recessed in the far west bay of the façade with an arched entry and small stair. The second floor is defined by even spaced single windows with decorative cut shutters. A low flared hipped roof dormer with shuttered windows accent sets centered on the front slope. Similar dormer on the east roof slope; shed roof dormer on the west slope. Bracketed upper story oriel on the west elevation, contained beneath the eaves. Brick chimneys visible on the front and both side slopes. Exterior is stucco with lower brick work. Fenestration is nine-over-nine and one-over-one double hung wood sash, casement and fixed with multiple panes. Additional detailing includes wide eaves, exposed rafter tails, and brackets.

A garage occupies the rear west corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 95 Dorchester Road is significant as a good representative example of a two-story, hipped roofed, urban residence of foursquare influenced design in Craftsman styling. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne Influence were most common on the West Side. This street is one of the few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Charles Fox. A Contributing building of the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-29)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 96 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1910

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 96 Dorchester Road is set on a shortened lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

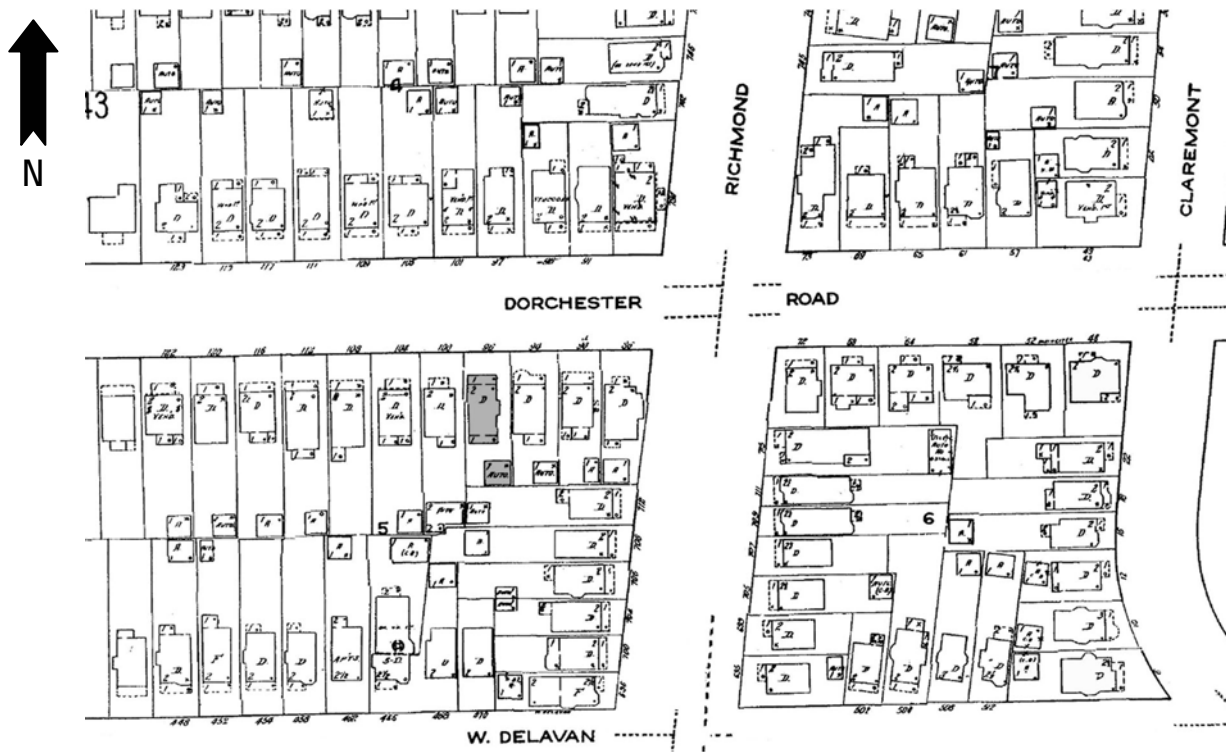
A two story, hipped roofed, urban residence of foursquare influenced design and modest mixed Craftsman styling. It has a shortened rectangular plan and is set on a stone foundation. The façade has a full-width, hipped roof, enclosed porch with square patterned wood pilasters, continuous ribboned window upper with transoms, solid patterned wood base, and wide frieze with flattened arch cut-outs. Main entrance located on the porch façade off center to the east, with a small metal railed entry stair. The second floor is defined by wide single windows centered in either side bay. A flared hipped roof dormer with small paired window accent sets centered on the front slope. Similar dormer on the east and west roof slopes. Secondary side entrance set with a full-height rectangular bay on the east elevation, contained beneath the eaves. Exterior brick chimney visible low on the west slope. Exterior fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double hung wood sash and fixed; 3/1 lights in the front dormer window. Additional detailing includes wide eaves and exposed rather tails.

A garage occupies the rear east corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 96 Dorchester Road is significant as a good representative example of two story, hipped roofed, urban residence of foursquare influenced design and modest mixed Craftsman styling. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were more common on the West Side. This street is one of the few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-4; N-30)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 97 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1909

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 97 Dorchester Road is set on a shortened lot, located on the north side of the street, on the block between Baynes aStreet and Richmond Avenue. Dorchester Road is a notable, east-west , residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

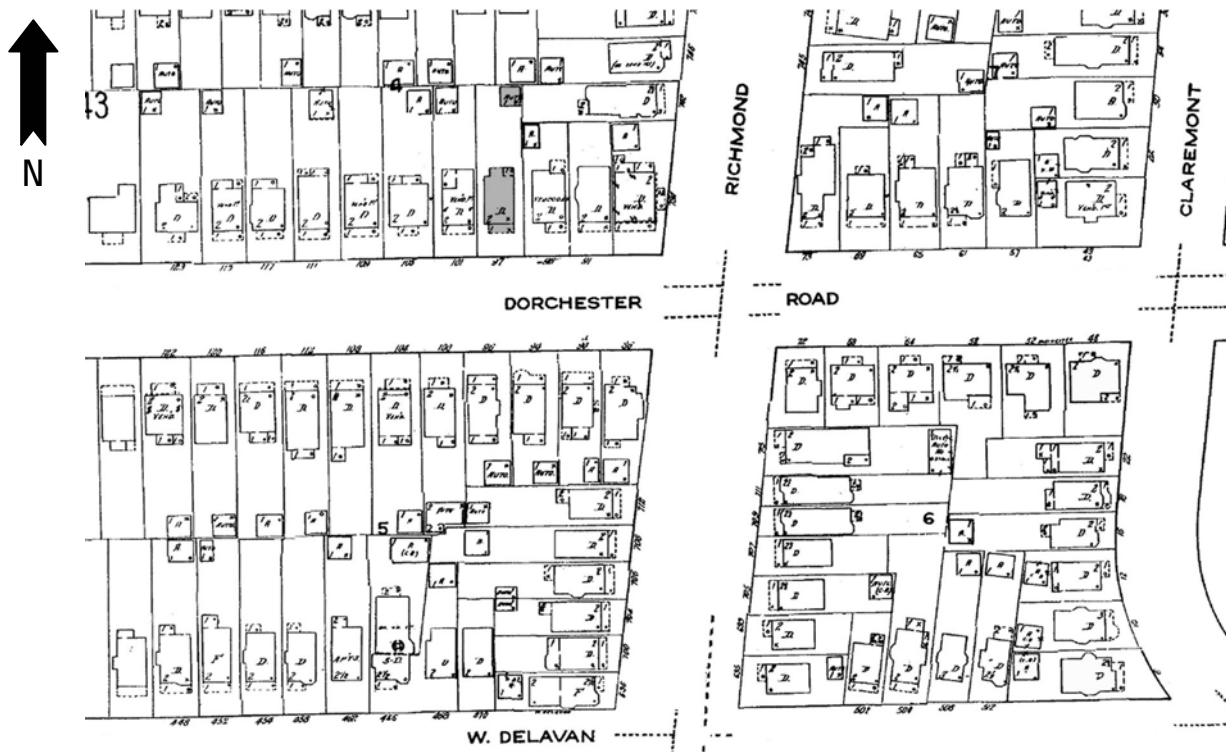
A two-story, flared hipped roofed, urban, frame residence of foursquare influenced design and mixed Craftsman styling. It has a shortened rectangular plan and is set on the stone foundation. The façade has a ¾- width, hipped roof, enclosed porch to the east, with grouped ½-height square pilasters at the corners set of singled piers that flow into the solid shingled base and continuous ribboned windowing. The main entrance is located on the façade of the house in the far west bay, with a small entry stair. Te second floor is defined by matching shallow rectangular oriels with paired windows centered in either side bay. A flared hipped roof dormer accented by a small single window with latticed upper sets centered on the front slope. A larger dormer of similar sets on the east and west roof slopes. Roof polygonal oriel on the east elevation. Rear extension with second story open porch. Exterior brick chimney visible to the front on the east elevation. Exterior fabric is wood shingle. Fenestration is one-over-one, and nine-over-nine double hung wood sash and fixed with multiple panes. Additional detailing includes wide eaves and exposed rafter tails.

A garage set in the rear east corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 97 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban, frame residence of foursquare influenced design and mixed Craftsman styling. Styled urban singles of varying design, such as this, typical housing for middle and more modest upper class families of the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common of the West Side. This street is one of few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Sylvanus B. Nye. A Contributing building of the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-30)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 100 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1910

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 100 Dorchester Road is set on a shortened lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

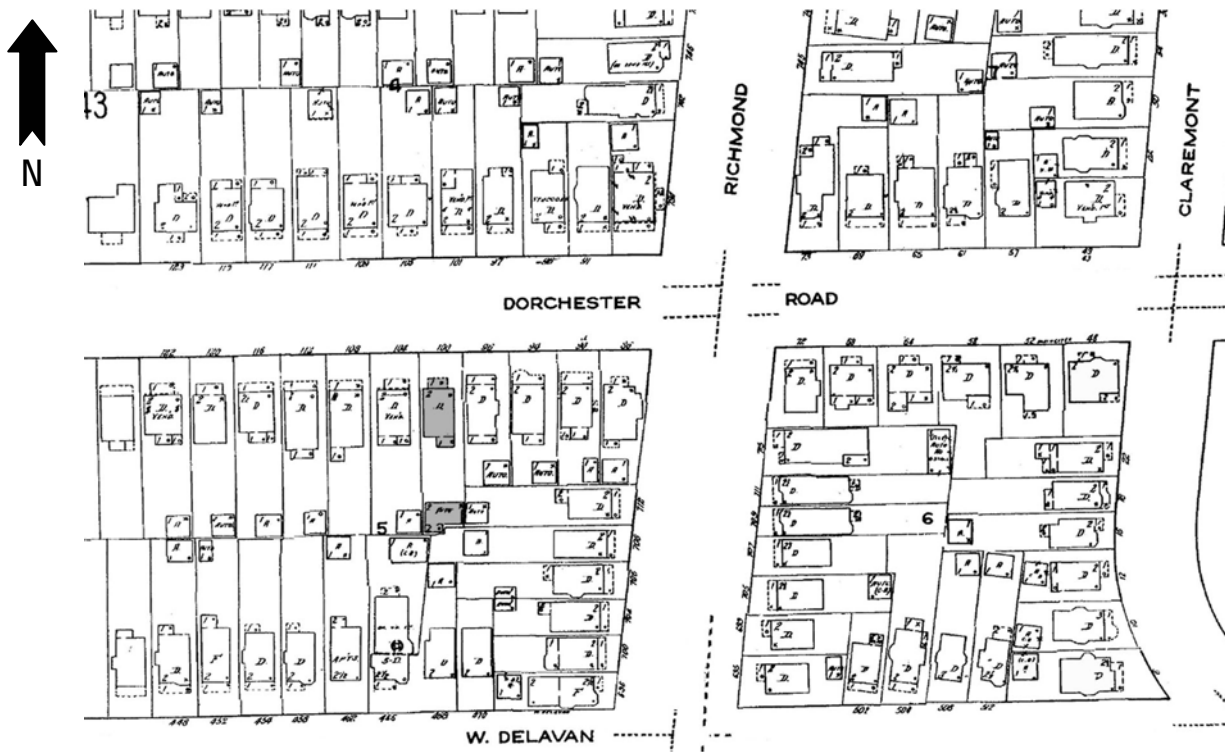
A two-story, flared hipped roofed, urban, frame residence of foursquare influenced design and mixed period styling. It has a shortened rectangular plan and is set on a stone foundation. The façade has ¾-width, hipped roof, enclosed living porch to the west, with ½-heightsquare pilasters at the corners set on solid stone base and foundation, continuous ribboned window upper, and wide entablature. A single window sets in the remaining far east bay of the façade. The main entrance is located on the east elevation, with a small roofed surround. The second floor is defined by matching paired windows centered in either side bay. A flared roof dormer accented by a paired window sets centered on the front slope. A similar dormer sets on the east roof slopes. One-story rear extension at the east. Exterior brick chimney visible to the front on the east elevation. Exterior fabric is wood clapboard. Fenestration is one-over-one, and nine-over-nine double hung wood sash and fixed with multiple panes. Additional detailing includes modest frieze with lookouts and trim.

A large two-story garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 100 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban, frame residence of foursquare influenced design and mixed period styling. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were common the West Side. The street is one of the few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-4; N-31)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 101 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1908

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 101 Dorchester Road is set on a standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

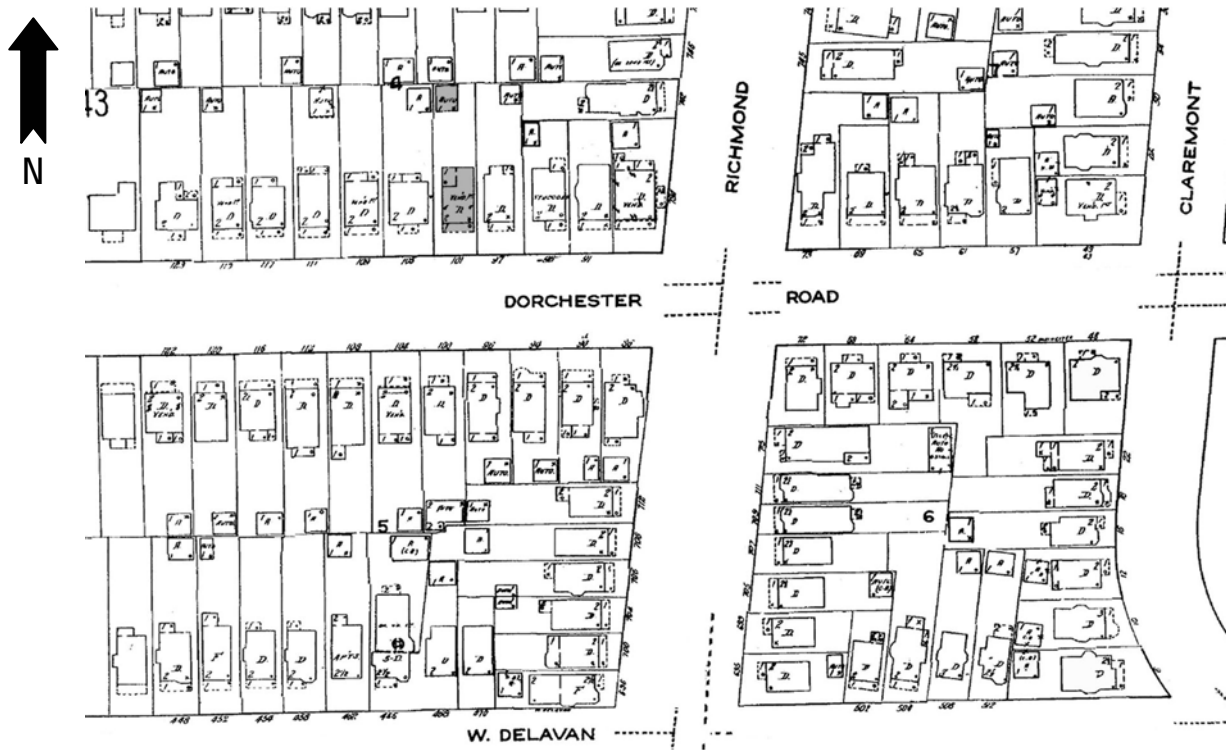
A two-and-one-half story, front gabled, urban frame residence of Queen Anne styling. It has a shortened rectangular plan and is set on a stone foundation. The façade has a full-width, flat roofed porch with brick columns and solid capped brick rail, west side window enclosure, modest frieze, extended eaves with lookouts, and a railed entry stair in the east. The main entrance with arched brick frame with arched brick frame with keystone is located in the east bay of the façade. A large triple window group with matching framing occupies the west bay. The second floor is defined by matching curved oriels with triple window groups centered in either side bay, beneath the pent of the gable end. The enclosed front gable is punctuated by Palladian window with patterned shingling. A gabled dormer with window accent rests on the east roof slope. Upper story roofed rectangular oriel visible on the east elevation. Brick chimney visible on the west elevation. Exterior fabric is brick on the lower story with wood shingled upper. Fenestration is one-over-one double hung wood sash and fixed, with occasional multiple panes. Additional detailing includes modest belt course, small frieze with ornament, lookouts and various trim.

A garage occupies the rear west corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 101 Dorchester Road is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of Queen Anne styling. Styled urban singles of varying Queen Anne influence, such as this, were common housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries on the West Side, though this street is one of the few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Elizabeth Watkins. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-31)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 104 Dorchester Road
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known Jacob S. Hausauer Date of construction, if known 1911

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 104 Dorchester Road is set on a standard lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

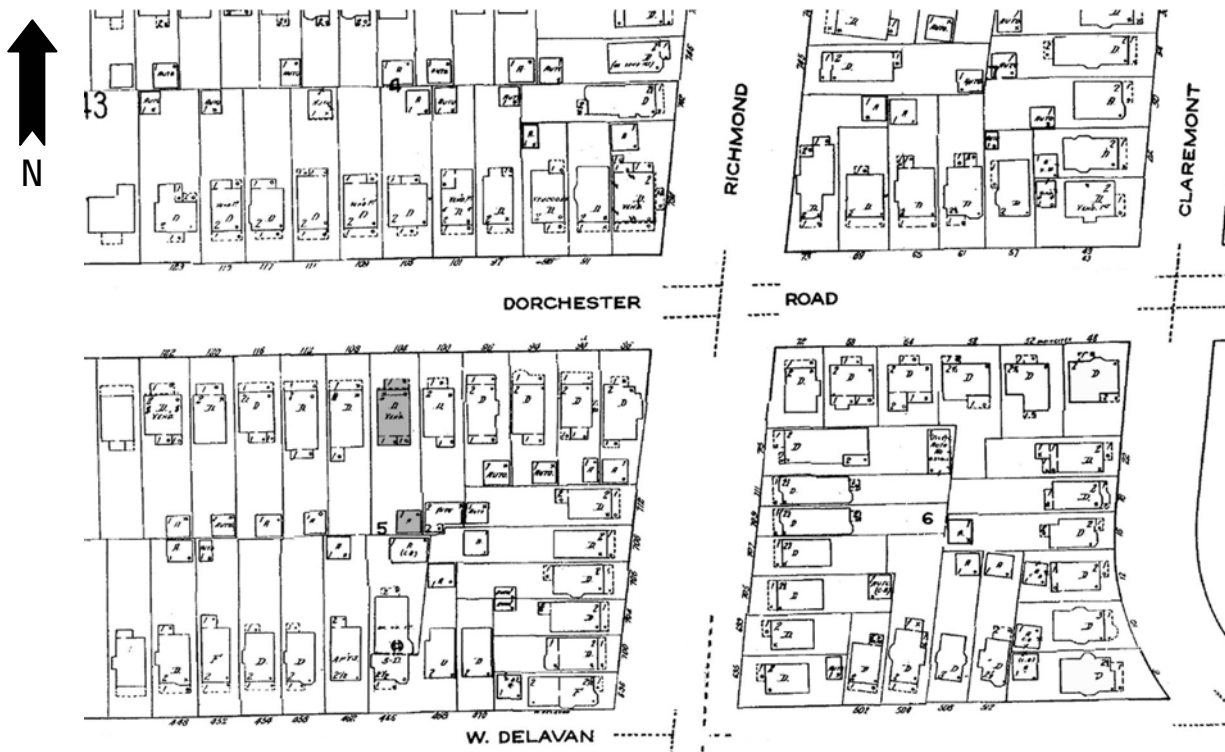
A two-story, flared hipped roofed, urban residence of foursquare influenced design and mixed period styling. It has a shortened rectangular plan and is set on a low stone foundation. The façade has a full-width, hipped roof porch; eastern ¾-width enclosed living porch with ½-height pilasters set on a solid capped brick base, vertical board upper with long triple window on the façade, wide overhanging eaves and modest frieze; western ¼-width entry porch of similar styling with windowed upper side enclosure and front railed entry stair. The main entrance is located in the far west bay of the façade under the entry porch. The second floor is defined by matching single windows with shuttering centered in either side bay and a small central leaded window. A flared hipped roof dormer accented by a small triple window sets centered on the front slope. A similar dormer sets on the east roof slopes. First story, roofed, projecting rectangular bay on the east elevation to the rear. Exterior brick chimney visible to front of the dormer on the east elevation. Exterior fabric is wood clapboard. Fenestration is primarily one-over-one double hung wood sash and fixed. Additional detailing includes wide eaves, modest frieze and trim.

A garage sets in the rear east corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 104 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban residence of foursquare influenced design and mixed period styling. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street is on e of the few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for James S. Chalmers. A Contributing buiding to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-4; N-32)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 105 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known Frank H. Chappelle Date of construction, if known 1907

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 105 Dorchester Road is set on a standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

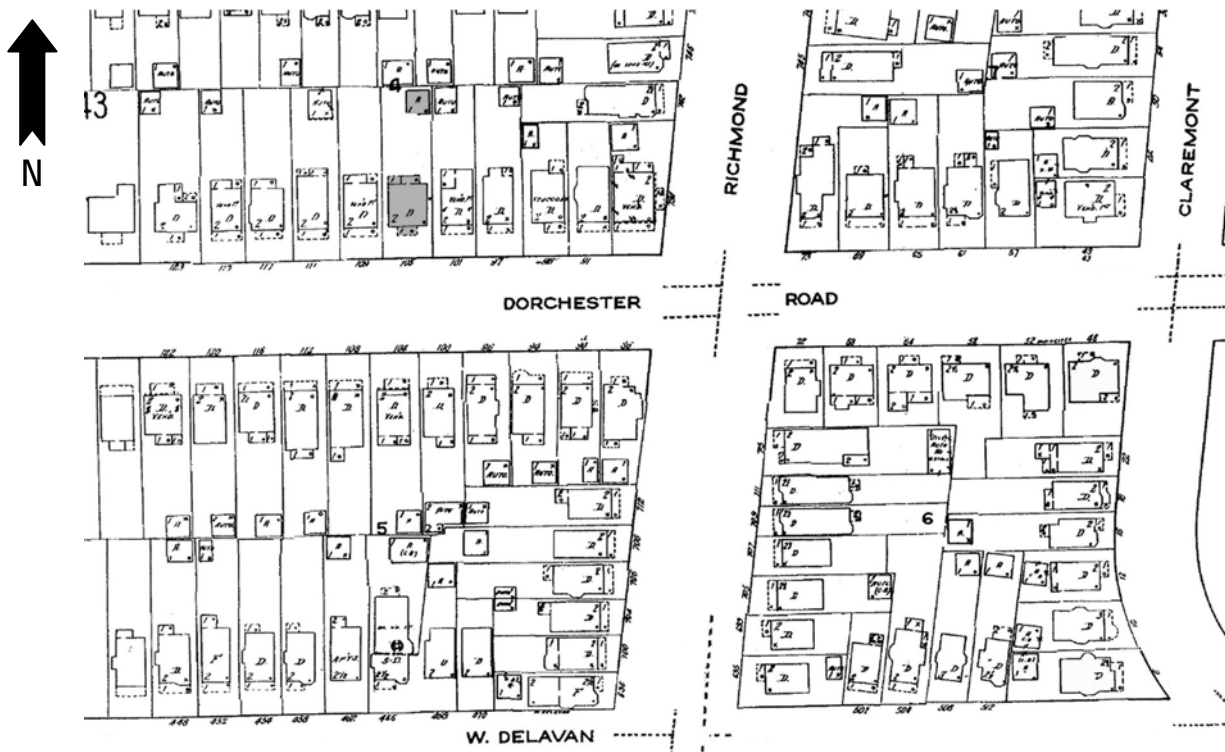
A two-story, flared hipped roofed, urban residence of foursquare influenced design and mixed period styling. It has a squared plan and is set on a stone foundation. The façade has a centered ½-width, hipped roof porch with ¾-height Roman Tuscan column set on capped stone piers, spindled wood rail, frieze with pointed arch cut-outs, overhanging eaves with exposed rafter tails, and central entry stair. The main entrance is located centered on the façade. Single windows set on either side of the entrance under the porch; an additional set of single windows occupy either far side bay. The second floor is defined by matching paired windows centered in either side bay and a small central single window with latticed panes. A flared hipped roof dormer accented by a triple window sets centered on the front slope. Small arched eyebrow dormer on the eastern roof slope. A tall exterior brick chimney is visible to front on the east elevation; additional chimney at the ridge. Exterior fabric is wood shingle on the lower story, stucco upper. Fenestration is primarily one-over-one double hung wood sash and fixed. Additional detailing includes exposed rafter tails in the eaves, modest corner boards, belt course and framing.

A garage sets in the rear east corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 105 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban residence of foursquare influenced design and mixed period styling. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West side. This street is one of the few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Orin E. Foster. A Contributing building of the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-32)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 108 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1915

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other stucco

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input checked="" type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

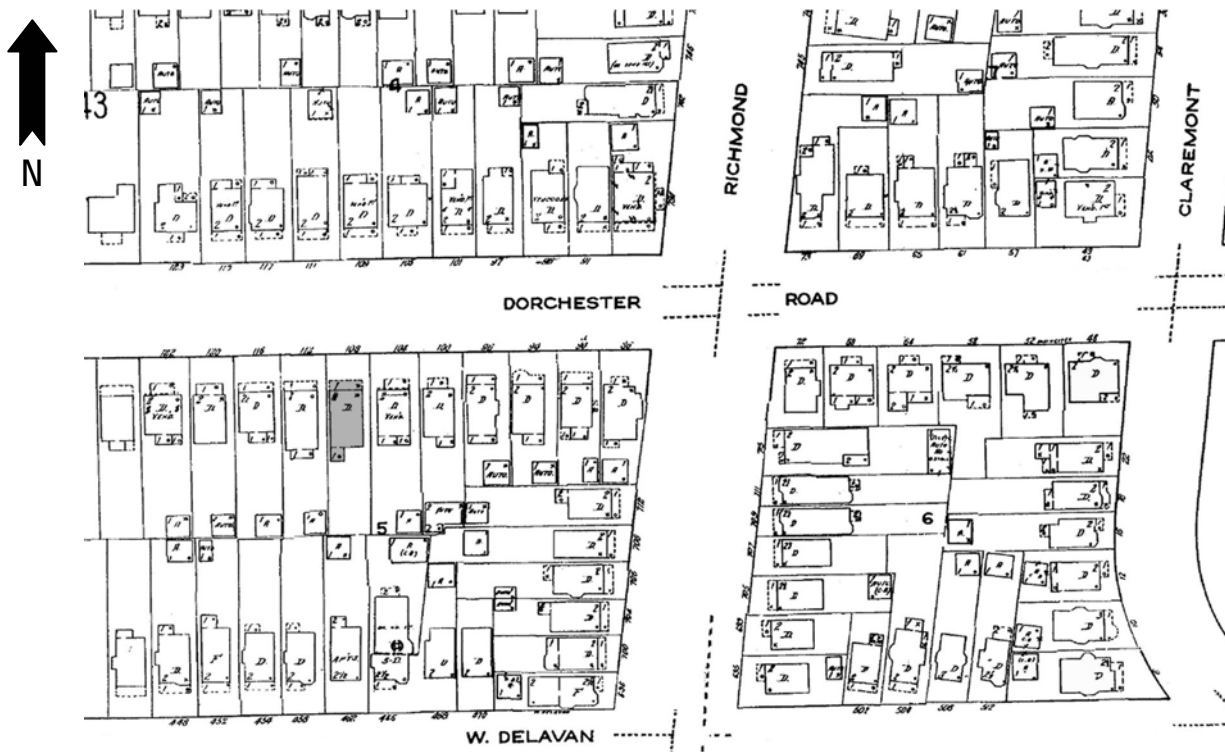
The single family house at 108 Dorchester Road is set on a standard lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

A one-and-one-half story, side gabled, urban Craftsman bungalow residence. It has a shortened rectangular plan. The façade has a full-width porch included under an extension of the main roof, with thick elephantine square columns at the corners, ½-height metal supports set on stucco and capped brick rail that extends to the ground, and an entry stair in the west bay. A large gabled dormer accented by three evenly spaced single windows sets centered on the front slope. Side gable peak punctuated by a paired window. Secondary side entrance awning on the east elevation to the rear. Rear extension to the west. Brick chimney visible at the center ridge, toward the east. Exterior fabric is stucco, with brick on the porch. Fenestration is one-over-one, six-over-one, and nine-over-one double hung wood sash and fixed. Architectural includes wide overhanging eaves with large open knee brackets and modest trim.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 108 Dorchester Road is significant as a good representative example of a one-and-one-half story, side gabled, urban Craftsman bungalow residence. One of few in the survey area. This street is one of few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-15; N-12)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 109 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1908

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 109 Dorchester Road is set on a standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

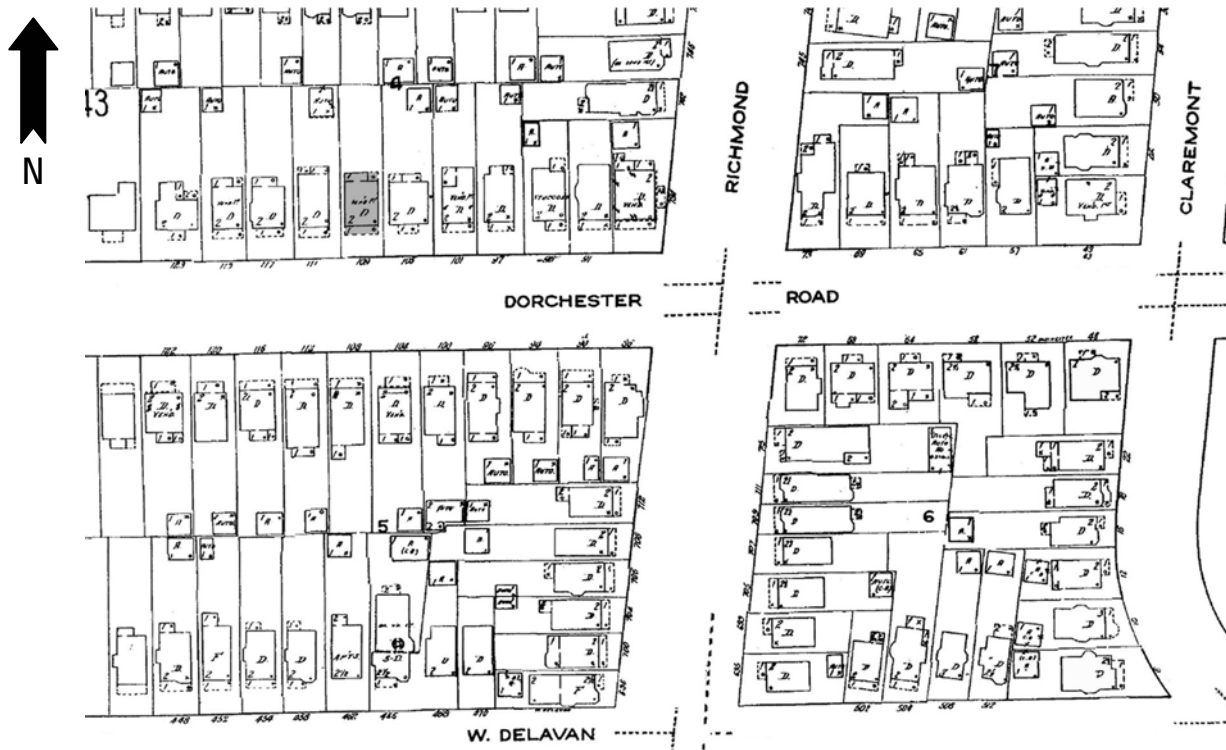
NON-CONTRIBUTING

A two-story, flared hipped roofed, urban residence of foursquare influenced design and simple mixed period styling.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 109 Dorchester Road is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains its initial styling and character, despite the changes in exterior fabrics to altered vinyl siding. Built for W. H. Lester.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-33)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 111 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known John H. Coxhead Date of construction, if known 1909

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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The single family house at 111 Dorchester Road is set on a standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

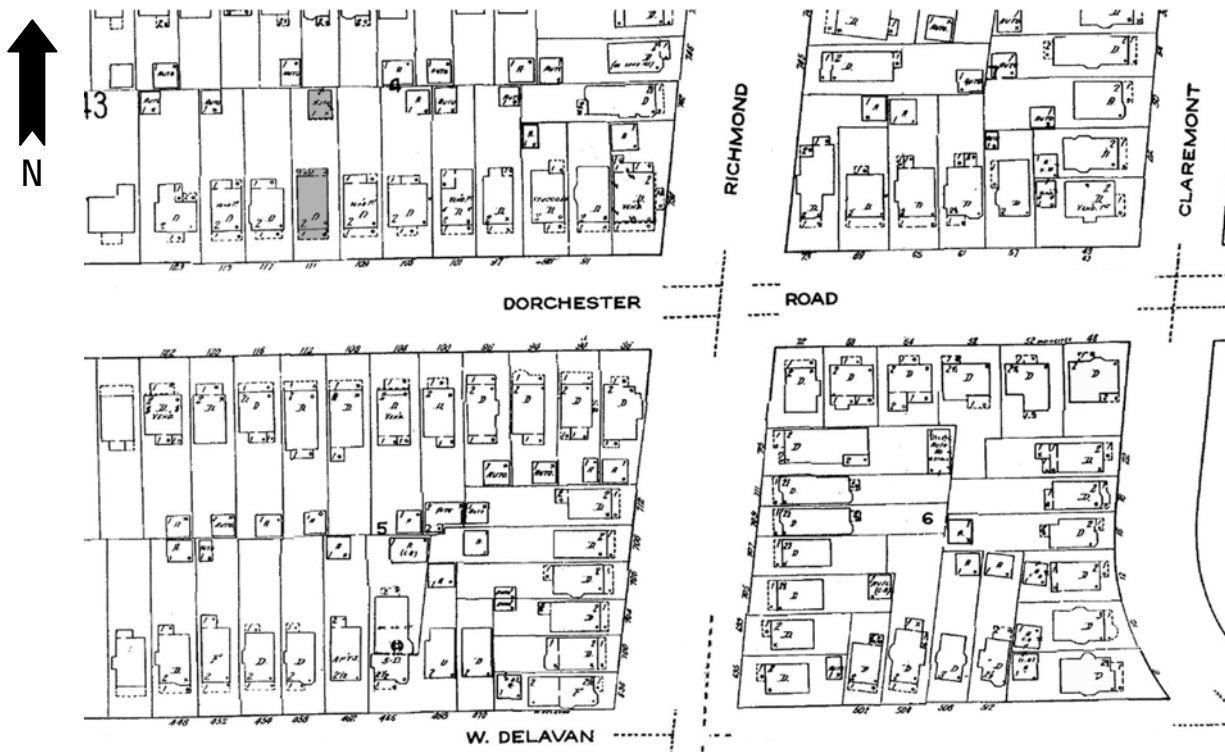
NON-CONTRIBUTING

A two-and-one-half story, side gabled urban, frame residence of mixed Colonial Revival design and styling.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 111 Dorchester Road is significant as a **non-contributing** notable architect designed building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains its initial styling and character, despite the changes in exterior fabrics of altered asbestos shingling. Built for Louis G. Schoepflin

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-34)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 112 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1910

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
-------------	---	--------------------------------	--	---

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. _____

Email: cbca@buffnet.net

Date: 03/2004

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 112 Dorchester Road is set on a standard lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

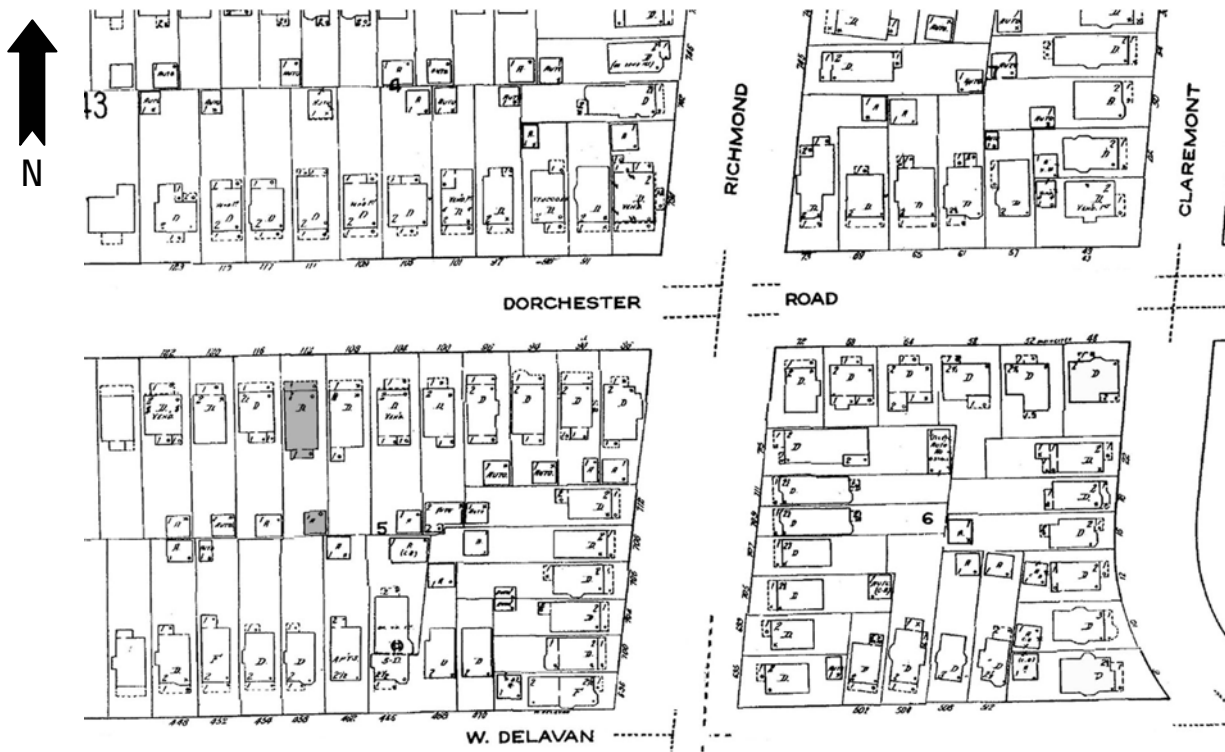
A two-and-one-half story, side gabled urban, frame residence of Colonial Revival design and mixed styling. It has a rectangular plan and is set on a stone foundation. The façade has a full-width, hipped roof porch with ¾-height square elephantine columns set on a stone capped solid brick rail, flat frieze, wide eaves with rafter tails, and an entry stair in the west. The modestly framed and side lighted main entrance is located in the west bay of the façade. A small leaded window sets next to the entrance, in the far west bay. Two modestly framed single windows occupy the east bay. The second floor façade has two grouped single windows with similar framing in the west bay, another single window in the east, and a polygonal oriel with windowing in the far east bay that rounds the forward east corner, contained beneath the eave. Two flared hipped roof dormers with single window accents set evenly space on the front slope. Pent enclosed side gable punctuated by paired window. Exterior brick chimney visible to the front on the east elevation, just behind the wrapped oriel. Exterior fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double hung wood sash and fixed. Additional detailing includes exposed rafter tails in the , modest belt bourse, frieze and framing.

A garage sets in the rear east corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 112 Dorchester Road is significant as a good representative example of two-and-one-half story, side gabled urban, frame residence of Colonial Revival design and mixed styling. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries. This street is one of the few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-4; N-33)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 116 Dorchester Road
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known Charles G. Hudson, bldr Date of construction, if known 1908

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 116 Dorchester Road is set on a standard lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

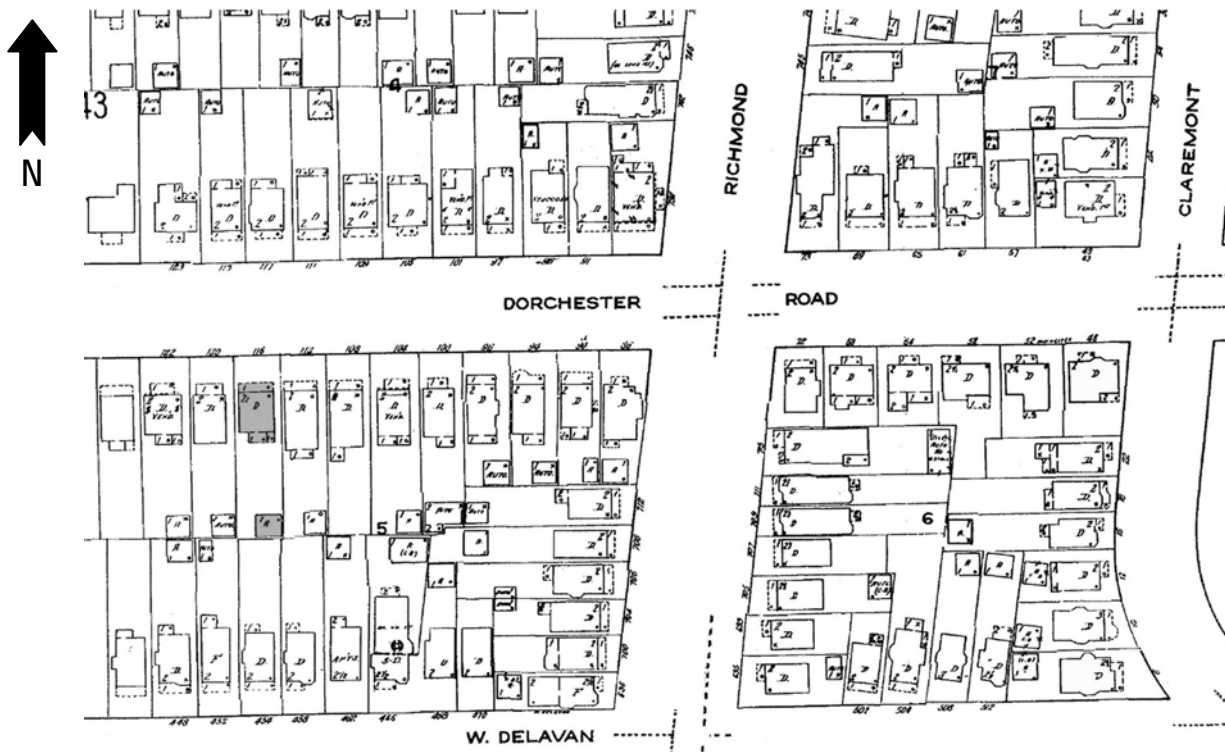
A two-story, flared hipped roofed, urban foursquare residence with mixed period styling, and Craftsman Influenced detail. It has a squared plan and is set on a stone foundation. The façade has a 7/8-width, hipped roof porch to the east with ¾-height square patterned columns set on brick piers that extend to the ground, spindled wood rail, modest frieze, and a ¼-width pediment with overhanging eaves with exposed rafter tails to the west over a railed entry stair. The moderately enframed main entrance is located in the west bay of the façade. A large triple window group with similar framing and shuttering occupies the east bay. The second floor is defined by matching paired windows with similar framing and shuttering centered in either side bay and a small central window latticed panes. A gabled dormer accented by small triple ribbon window sets centered on the front slope. Small arched eyebrow dormer on the eastern slope. Brick chimney visible to the rear in the west. Exterior fabric is wood shingle. Fenestration is eight-over-one, six-over-one, four-over-one, and one-over one double hung wood sash and fixed. Additional detailing includes exposed rafter tails in the extended open eaves.

A garage occupies the rear east corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 116 Dorchester Road is significant as a good representative example of two-story, flared hipped roofed, urban foursquare residence with mixed period styling, and Craftsman Influenced detail. Modestly styled urban singles and doubles of varying design, such as this, were common housing for families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street is one of few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Sylvanus B. Nye. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-4; N-34)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 117 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1910

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

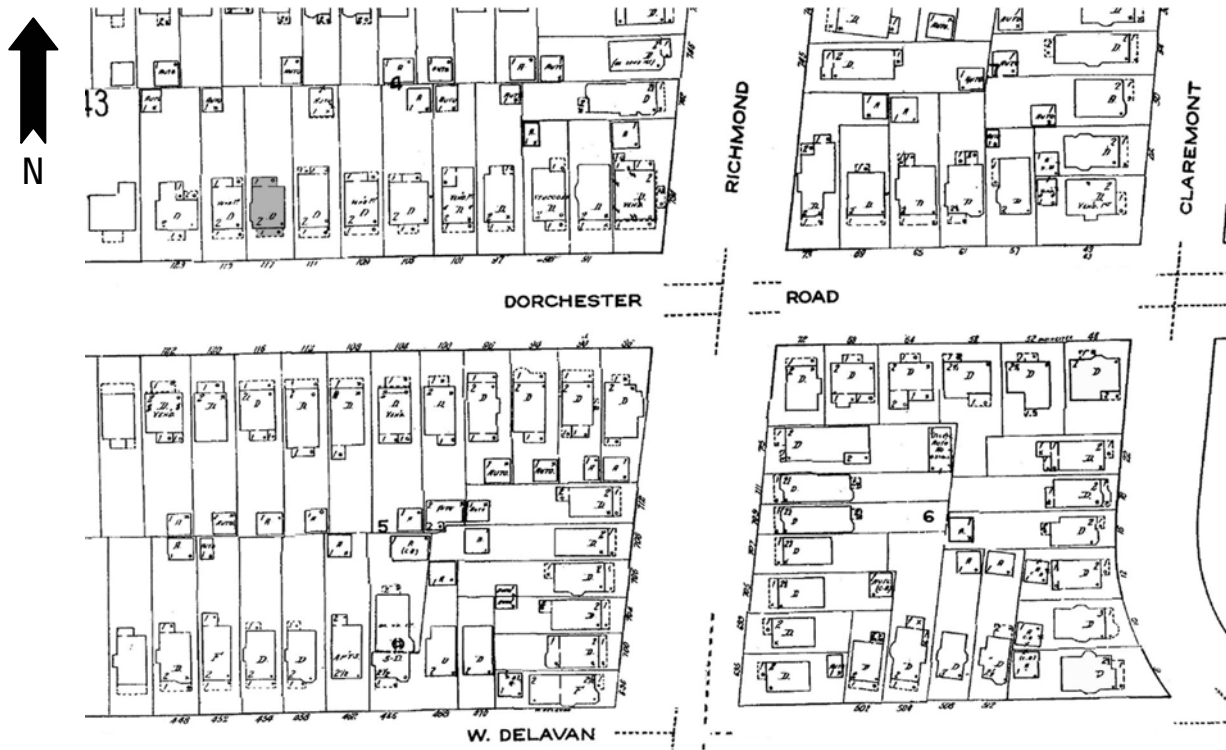
The single family house at 117 Dorchester Road is set on a standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

A two-story, flared hipped roofed, urban residence of foursquare influenced design and mixed period styling. It has a squared plan and is set on a stone foundation. The façade has a centered ½-width, hipped roof porch with ¾-height Roman Tuscan column set on capped stone piers, intricate open patterned wood rail, modestly molded frieze, overhanging eaves, and central entry stair. The modestly sidelighted main entrance is located on the façade off center to the west, under the porch. A single window sets to the west of the entrance in the extreme side bay. A large triple window group occupies the east bay of the façade. The second floor is defined by small matching triple windowed polygonal oriels centered in wither side bay. A similar dormer sets on a the eastern roof slope. Small rectangular roofed bay with a large window grouping visible on the east elevation. Tall exterior brick chimney visible to the front of the bay on the east elevation. Exterior fabric is wood clapboard on the lower story, wood shingle upper. Fenestration is primarily one-over-one double hung wood sash and fixed. Additional detailing includes modest cornice, belt course, and framing.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 117 Dorchester Road is significant as a good representative example of two-story, flared hipped roofed, urban residence of foursquare influenced design and mixed period styling. Modestly styled urban singles and doubles of varying design, such as this, were common housing for families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street is one of few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. A Contributing to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-35)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 119 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known Frank M. Schurman Date of construction, if known 1910

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 119 Dorchester Road is set on a standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

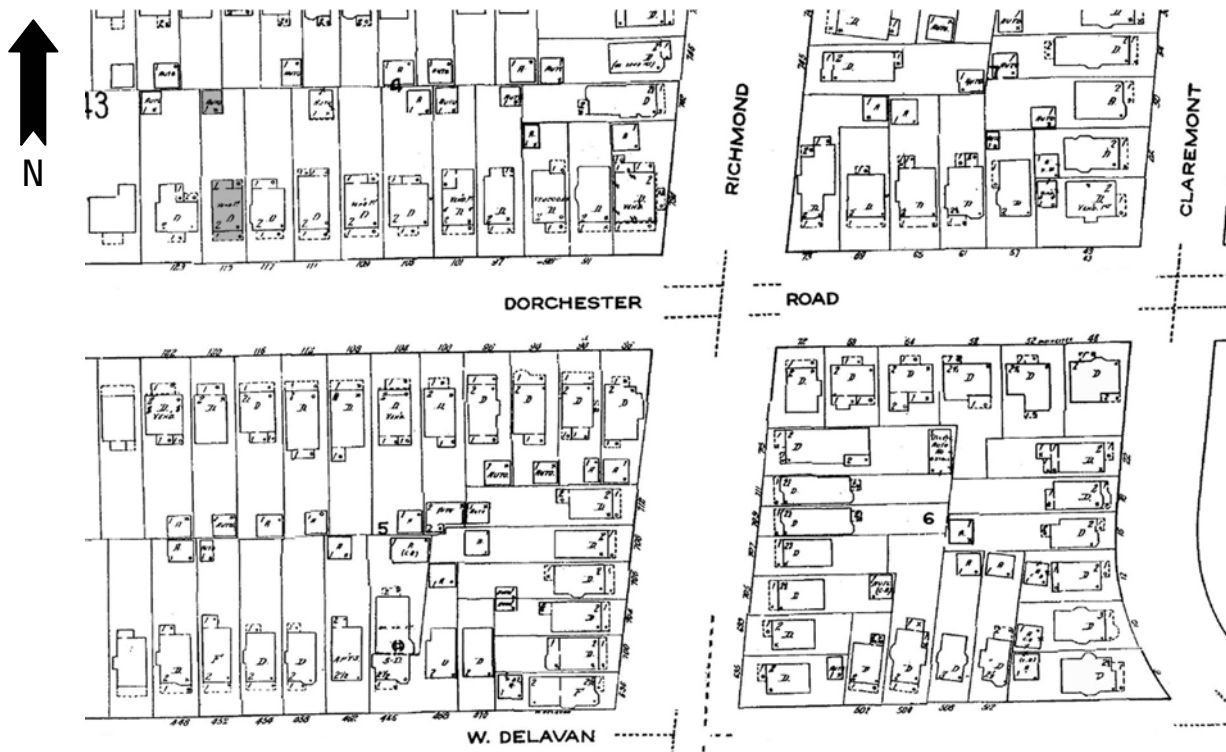
A two-story, hipped roofed, urban residence of foursquare influenced design and mixed period Craftsman styling. It has a squared plan and is set on a brick and stone foundation. The façade has a full-width hipped roof porch with wide capiteled square columns, open wood rail, plain frieze with flattened arch cut-outs, overhanging eaves, and an entry stair to the west. The main entrance is located on the façade off center to the west, set within a small ¼-width enclosed brick vestibule under the porch. A small leaded window sets to the west of the entrance vestibule in the extreme side bay. A large window group occupies the east bay of the façade. The second floor has a small curved oriel with notable leading in the west bay and a single window with upper leading in the east. A hipped roof dormer accented by three small windows with Queen Anne detailing, extended eaves and exposed rafter tails sets centered on the front slope. Similar dormers set on both side roof slopes. Small, bracket supported, rectangular bay with triple window grouping visible on the west elevation. Tall exterior chimney visible to the front of the bay of the west elevation. Exterior fabric is brick on the lower story, wood shingle upper. Fenestration is primarily one-over-one double hung wood sash and fixed, with several transoms and extensive leading.

A garage occupies the rear west corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 119 Dorchester Road is significant as a good representative example of a two-story, hipped roofed, urban residence of foursquare influenced design and mixed period Craftsman styling. Modestly styled urban singles and doubles of varying design, such as this, were common housing for families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were common on the West Side. This street is one of few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Charles E. Harris. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-36)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 120 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1914

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 120 Dorchester Road is set on a standard lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

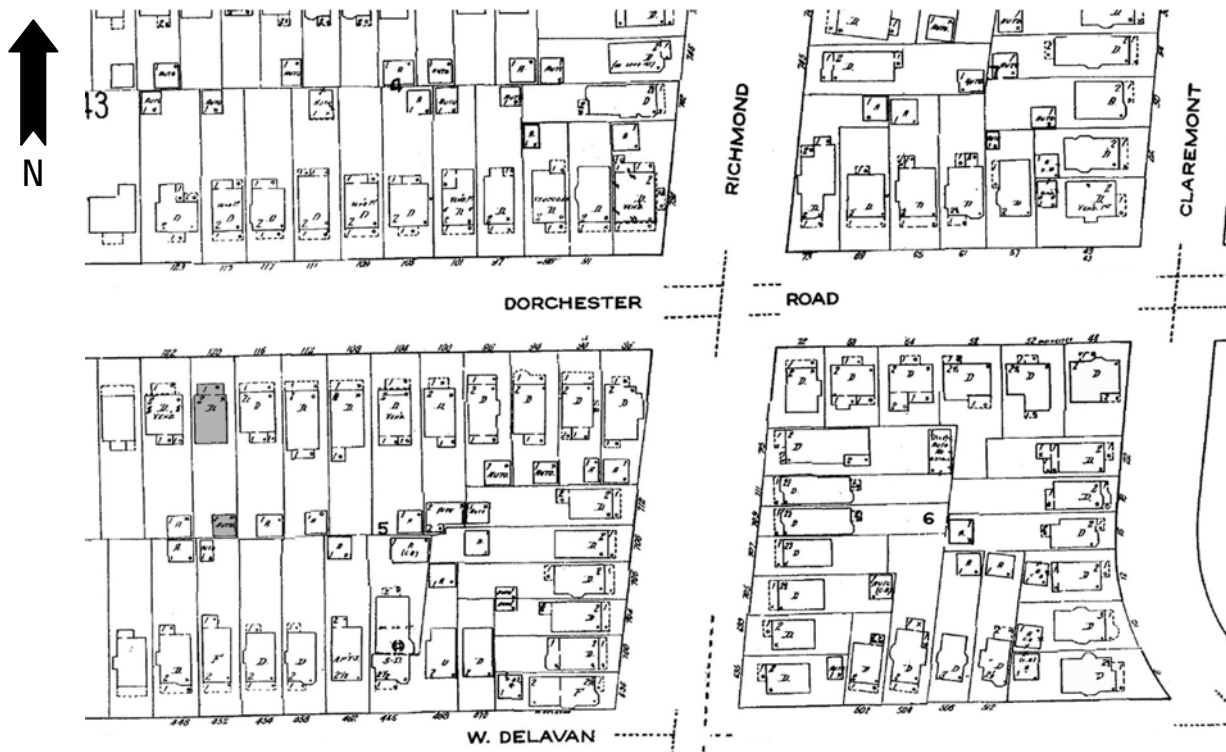
A two-story, flared hipped roofed, urban residence of foursquare influenced design and mixed period styling. It has a squared plan and is set on a low stone foundation. The façade has a full-width, flat roofed, enclosed living porch with a clapboard base, elongated multi-paned ribbon windowed upper spaced by 1/2-height, pilasters. Molded frieze and cornice spaced with bracketing, and a French door entrance on the east side. The main entrance is located on the east elevation beneath a large rectangular bracketed oriel with patterned windowing. The second floor is defined by large single windows with shuttering set in either side bay. A hipped roof dormer accented by a small multi-paned triple ribbon window sets centered on the front slope. A large shed dormer sets on the eastern roof slope. Tall exterior brick chimney visible to the front on the west elevation; additional chimney to the rear east. Exterior fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double hung wood sash and fixed, with common multi-paning, 8/1 light on the second story façade. Additional detailing includes extended eaves with exposed rafter tails and subtle framing.

A garage sets in the rear east corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 120 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban residence of foursquare influenced design and mixed period styling. Modestly styled urban singles and doubles of varying design, such as this, were common housing for families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street is one of the few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Leland L. Eaton. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-4; N-35)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 122 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1909

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
-------------	---	--------------------------------	--	---

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 122 Dorchester Road is set on a standard lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

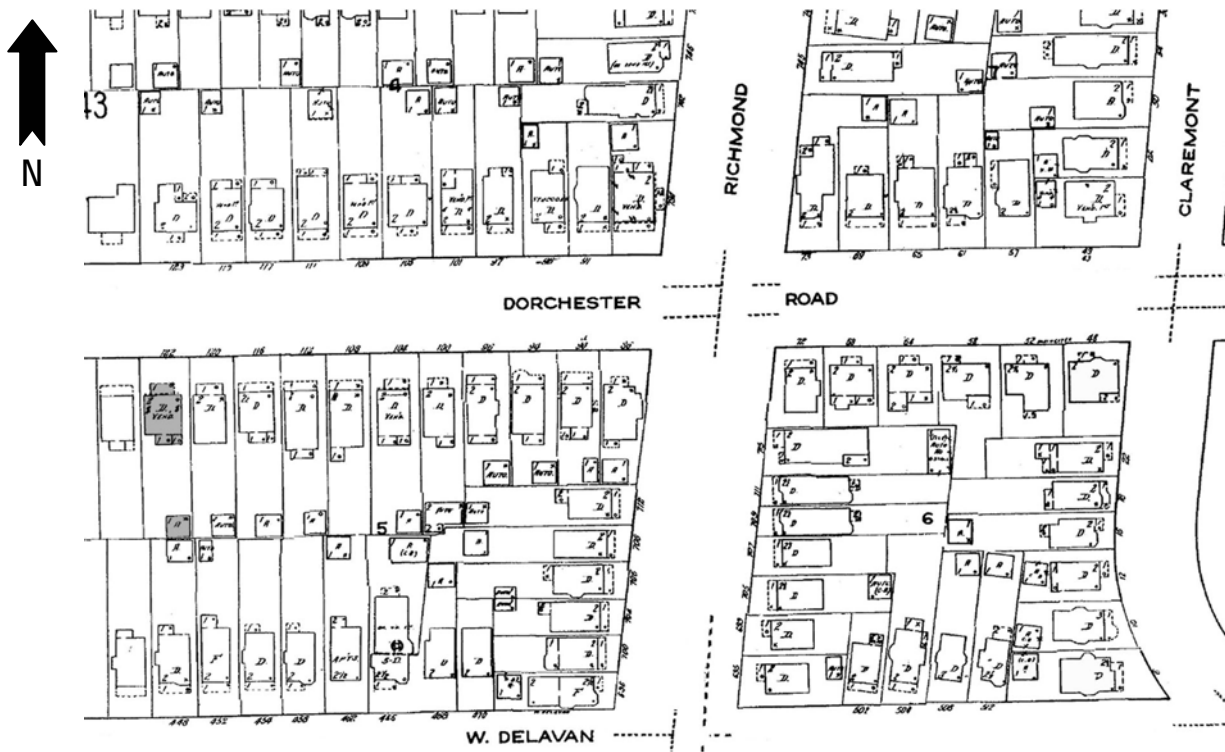
A two-story, flared hipped roofed, urban residence of foursquare influenced design and mixed period Colonial influenced styling. It has a squared plan and sets on a low stone foundation. The façade has a centered ¼-width, hipped roof porch with ¾-height Ionic columns set on capped brick piers, open wood rail, modestly molded frieze, and slight overhanging eaves. A modestly framed and side lighted entrance is located centrally on the façade, under the porch. Two single window set on either side of the main entrance, occupying the side bays. The second floor is defined by matching paired windows centered in either side bay and a small centrally located single window. A gabled dormer accented by a triple window and modest verge boards sets centered on the front slope. A similar dormer sets on the eastern roof slope. Side entrance visible on the east elevation; notable bracketed pediment hood over a forward window on the east elevation. Tall exterior brick chimney on the east elevation. Exterior fabric is brick with wood shingle on the dormers. Fenestration is eight-over-one, six-over-one, four-over-one and one-over-one double hung wood sash and fixed, all with stone sills. Additional detailing includes extended eaves.

A garage occupies the rear east corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 122 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban residence of foursquare influenced design and mixed period Colonial influenced styling. Modestly styled urban singles and doubles of varying design, such as this, were common housing for families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne were most common on the West Side this street is one of the few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for the Dorchester Improvement Co. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-4; N-36)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 123 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known Frank H. Chappelle Date of construction, if known 1907

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
-------------	---	--------------------------------	--	---

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 123 Dorchester Road is set on a widened standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

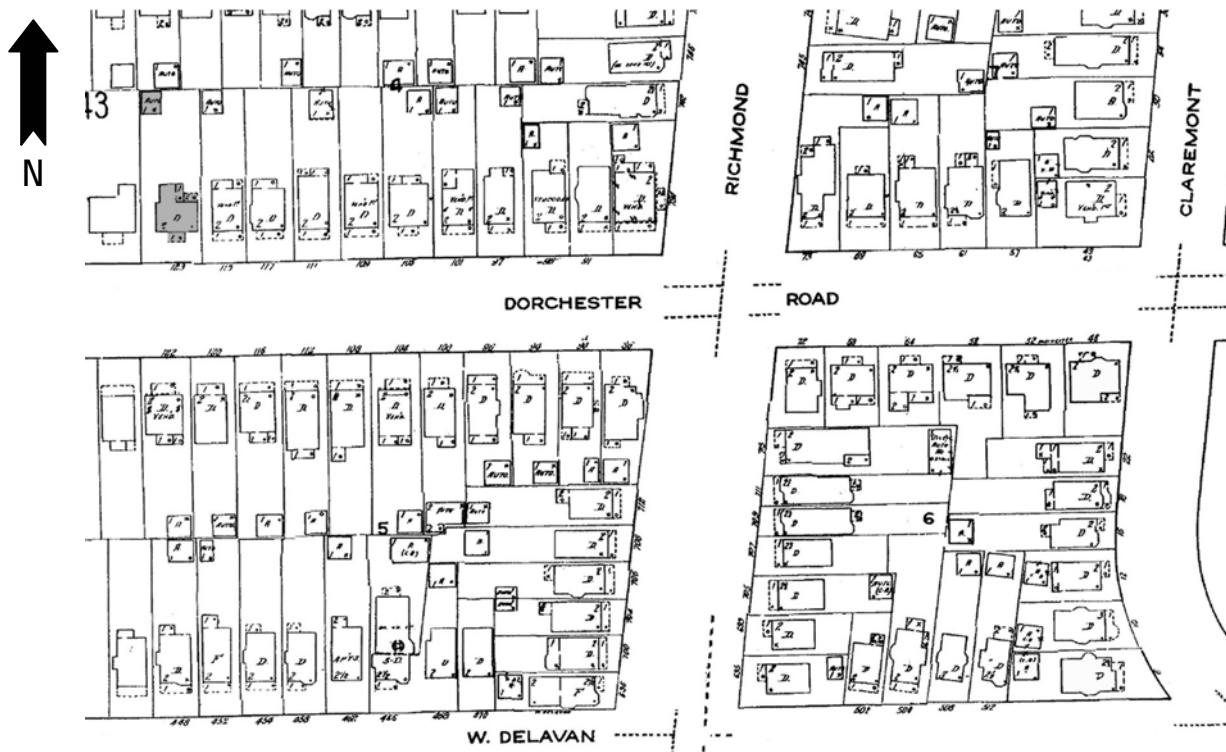
A two-and-one-half story, side gabled urban, residence of fine Colonial Revival style. It has a roughly rectangular plan with main horizontally oriented regular block and rear extension to the west. It is set on a stone foundation. The façade has a centered, ½-width, pedimented porch with fluted Ionic columns, low spindled wood rail, notable entablature with wide frieze, dentils and lookouts; and a central entry stair. The framed and sidelighted main entranceway is located centered on the façade, under the porch. A single window occupies the side bays of the lower façade on either side of the porch. The second floor façade is defined by simple even spaced o the front roof slope. Pent enclosed side gables punctuated by regular windowing. Rear section of residence not included under the main side gables. Exterior wall fabric is wood clapboard. Fenestration is nine-over-one and one-over-one double hung wood sash and fixed. Large brick chimneys visible at the ridge to east and on eh rear section. Additional detailing includes wide frieze, cornice, dentils, decorative molding, lookouts modest belt course and framing.

A small garage sets in the rear west corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 123 Dorchester Road is significant as a good representative example of an architect designed, two-and-one-half story, side gabled urban, residence of fine Colonial Revival style. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side, and this street, in particular, has a concentration of foursquare and Craftsman influenced dwelling, indicative of the slightly late building period. Built for Orin E. Foster. A Contributing building of the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-37)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 124 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known Emerson C. Dell Date of construction, if known 1910

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

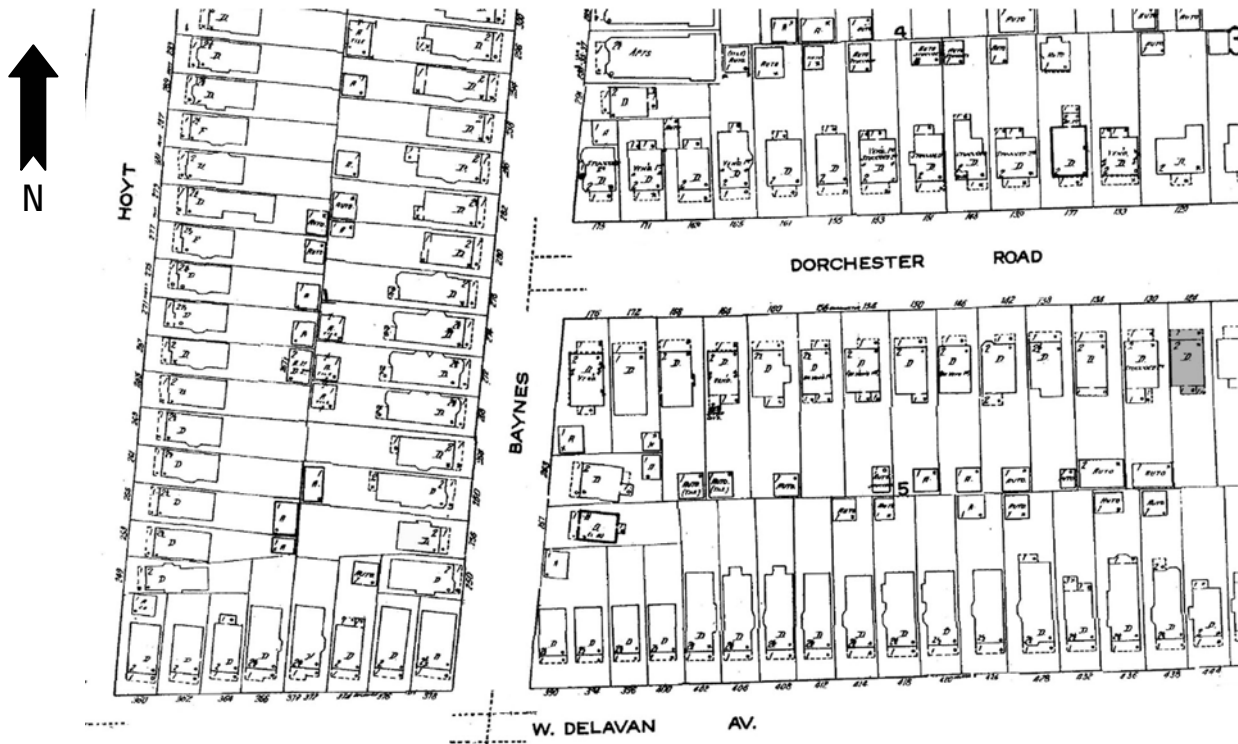
The single family house at 124 Dorchester Road is set on a standard lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

A two-story, hipped roofed, urban residence of foursquare influenced design and mixed period styling. It has shortened rectangular plan and is set on a stone foundation. The façade has a full width, shed roof porch; eastern 2/3-width enclosed living porch with a large, shuttered triple window group, slight overhanging eaves, and notable frieze space with molding and small brackets; western 1/3 –width entry porch of similar styling with square clapboard covered columns, solid clapboard rail and wide entry stair. The main entrance is located in the west bay of the façade under the entry porch. A single sets to the west of the entrance in the extreme side bay under the porch. The second floor is defined by matching single windows with shuttering centered in either side bay. A flared hipped roof dormer accented by a small multi-paned triple window and extended eaves with bracketing sets centered on front slope. A similar dormer sets on the west roof slope. First story, roofed, projecting rectangular bay on the west elevation to the rear; several notable second story oculus visible on the west elevation as well. A brick chimney sets on the east roof slope. Exterior fabric is wood clapboard, with stucco and aggregate on the enclosed porch. Fenestration is eight-over-one, six-over-one, four-over-one and one-over-one double hung wood sash and fixed, with multi-panes. Additional detailing includes a notable frieze and cornice with molding and bracketing and modest framing.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 124 Dorchester Road is significant as a good representative example of an architect designed, two-story, hipped roofed, urban residence of foursquare influenced design and mixed period styling. Moderately styled singles and doubles of varying design, such as this, were common housing for middle and more modest upper class families of the late nineteenth and early twentieth centuries, though those of heavy Queen Anne influence were most common on the West Side. This street is one of few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for the Dorchester Improvement Co. A Contributing building of the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-4; N-37)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 129 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1915

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
-------------	---	--------------------------------	--	---

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 129 Dorchester Road is set on a widened standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

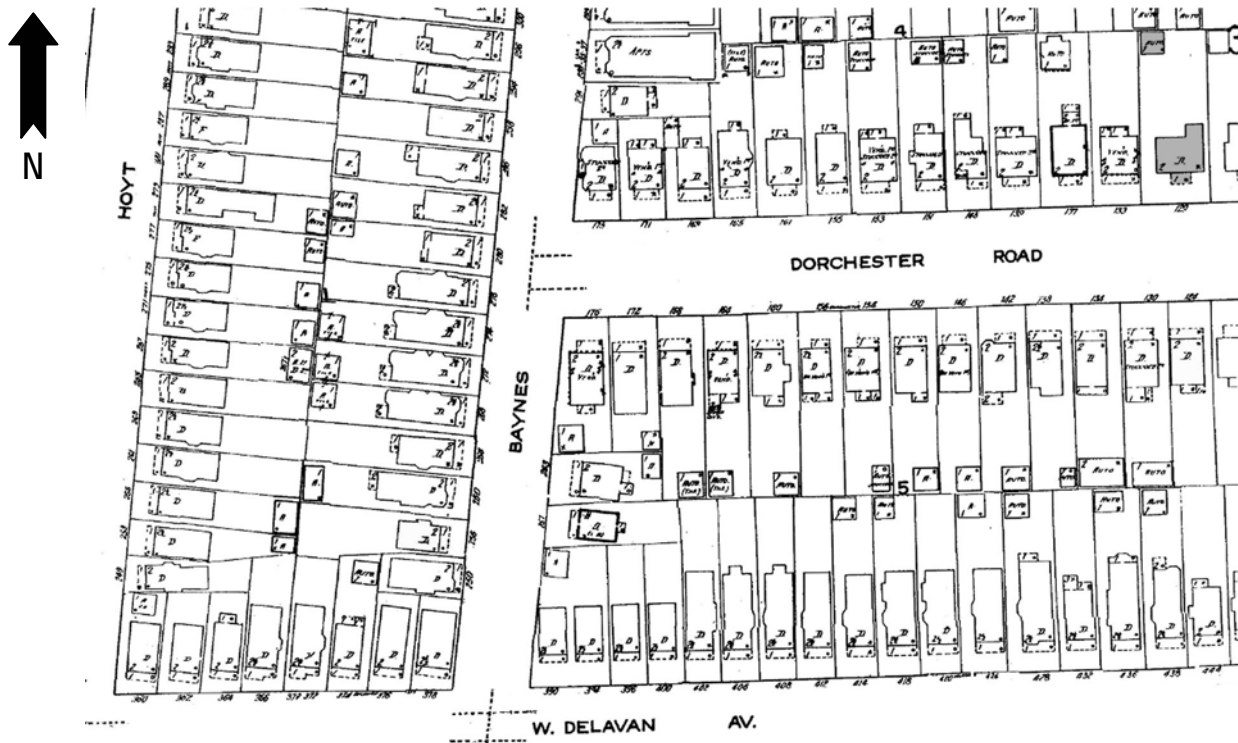
A two-and-one-half story, side gabled, urban residence of Colonial Revival style. It has a rectangular plan with a main horizontally oriented rectangular block and a rear extension in the east. It is set on a brick and stone foundation. The façade has a centered, ¼-width, pedimented porch with paired square columns, low open wood rail, moderate frieze, molding and dentil ornament in the pediment, and a central entry stair. The framed and sidelighted main entranceway is located centered on the façade, under the porch. Paired windows occupy the side bays of the lower façade on either side of the porch. The second floor façade is defined by matching paired windows with shuttering centered in either side bay and a central shuttered single window. Three pedimented dormers with window accents rest evenly spaced on the front roof slope. Side gables punctuated by regular windowing. Rear section of residence not included under the main side gable. Exterior wall fabric is wood clapboard. Fenestration is primarily eight-over-one and one-over-one double hung wood sash and fixed. Brick chimneys visible at the ridge at either side. Additional detailing includes noted frieze with molding and modest trim and framing.

A garage occupies the rear west corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 129 Dorchester Road is significant as a good representative example of a two-and-one-half story, side gabled, urban residence of Colonial Revival style. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side, and this street, in particular, has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-1)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 130 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known William H. Boughton Date of construction, if known 1910

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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The single family house at 130 Dorchester Road is set on a standard lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

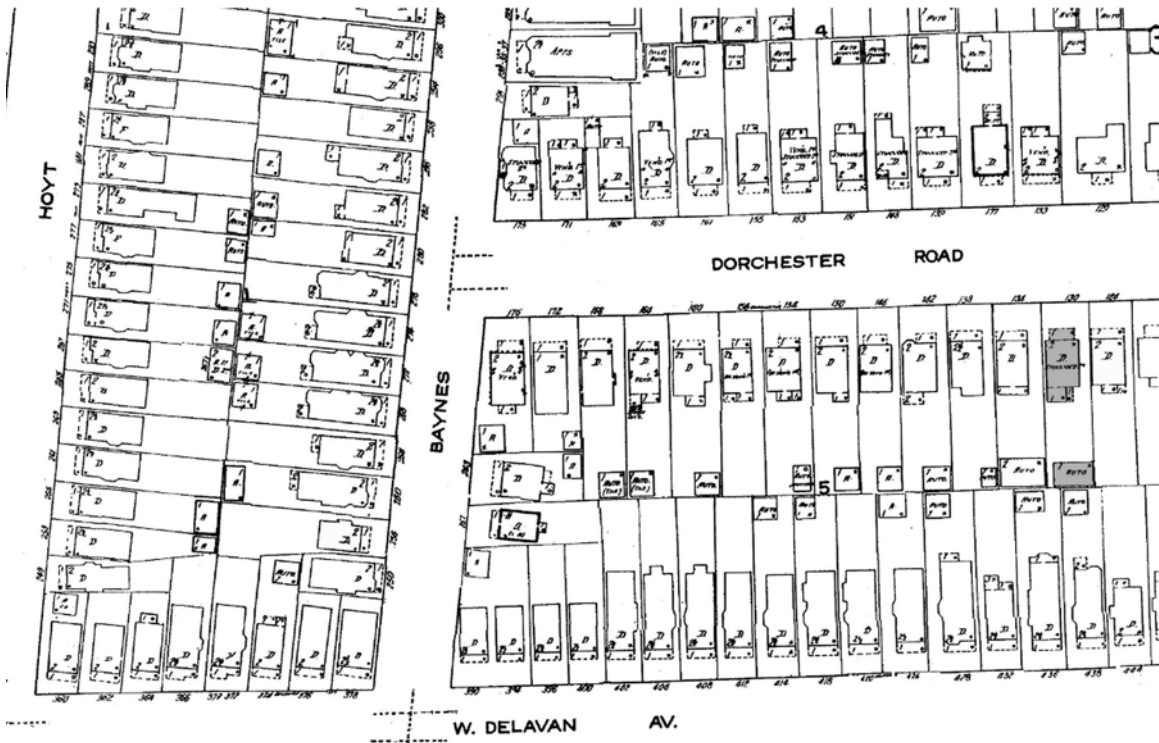
A two-story, flared hipped roofed, urban frame residence of foursquare influenced design and mixed period Craftsman styling. It has a shortened rectangular plan. The façade has ¾-width, flat roofed, enclosed living porch to the east, with a patterned panel wood base set on a brick and stone foundation, continuous ribboned window upper, large elephantine columns at the corners, and wide extended eaves. The main entrance is located on the west elevation, within a small, windowed vestibule. The second floor façade is defined by matching larger single windows with shuttering centered in either side bay. A flared hipped roof dormer accented by small triple window sets centered on the front slope. A similar dormer sets on the west roof slopes. Brick chimney visible west roof slope to the front of the dormer. Exterior fabric is wood clapboard with stucco on the upper portion. Fenestration is primarily one-over-one double hung wood sash and fixed, with occasional multiple panes. Additional detailing includes notable wide open eaves with exposed rafter tails and modest trim.

A large garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 130 Dorchester Road is significant as a good representative example of an architect designed, two-story, flared hipped roofed, urban frame residence of foursquare influenced design and mixed period Craftsman styling. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Clarence A. Wicker. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-1)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 133 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known Charles G. Hudson, bldr Date of construction, if known 1909

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

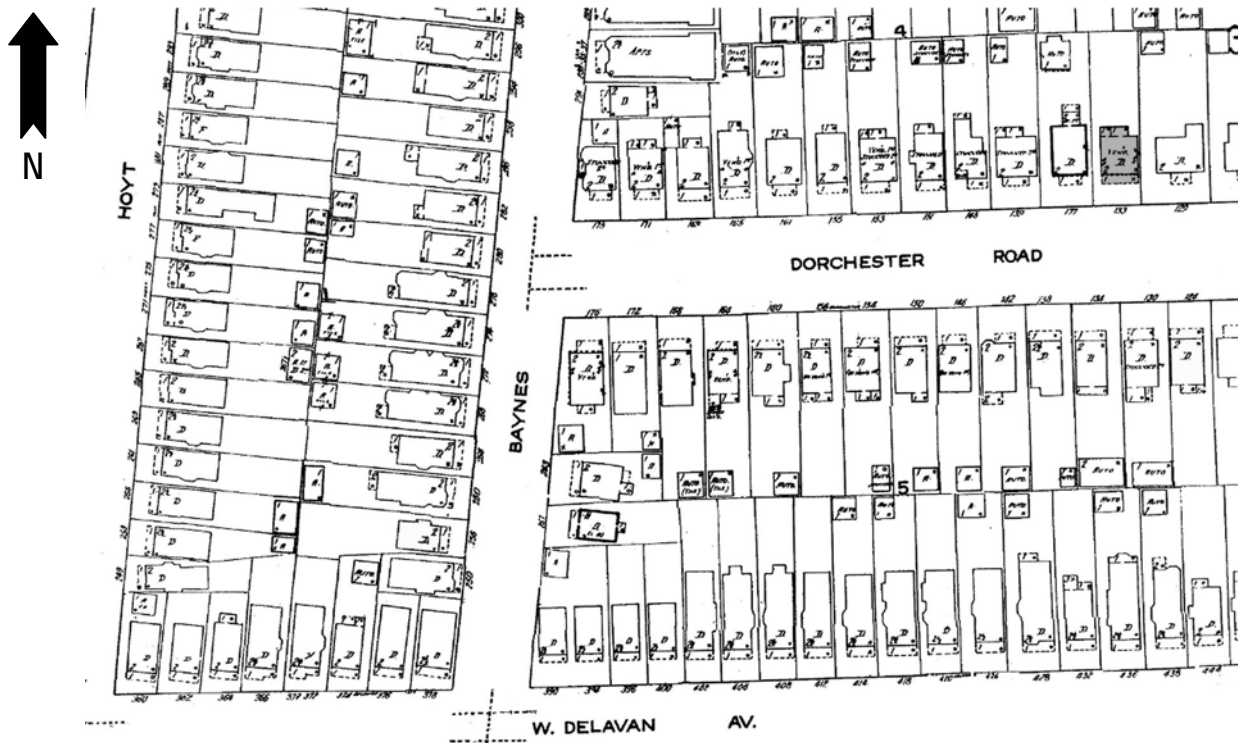
The single family house at 133 Dorchester Road is set on a standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

A two-story, flared hipped roofed, urban, frame residence of foursquare influenced design and mixed period styling. It has a squared plan. The façade has a full-width, hipped roof, open porch with ¾-height ionic column supports set on a stone capped brick piers that extend down into the foundation, stone capped brick rail, modest frieze, extended eaves, and a central railed entry stair. The modestly sidelighted main entrance is centrally located on the façade under the porch. Matching paired windows set in the side bays to either side of the entrance. The second floor façade is defined by matching triple windowed polygonal oriels entered in either side bay and a centered slim single window. A flared hipped roof dormer accented by triple window sets centered on the front slope. A similar dormer sets on the west roof slope. Small upper story roofed projection with windowing visible on the west elevation. Tall exterior brick chimney visible on the east elevation. Exterior fabric is brick with wood shingle on the dormers and projections. Fenestration is primarily one-over-one double hung wood sash and fixed, with subtle stone sills; 4/1 lights in the dormer windows. Additional detailing includes open eaves with exposed rafter tails and modest trim.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 133 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban, frame residence of foursquare influenced design and mixed period styling. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Frank R. Johnson. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-2)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 134 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1910

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 134 Dorchester Road is set on a standard lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

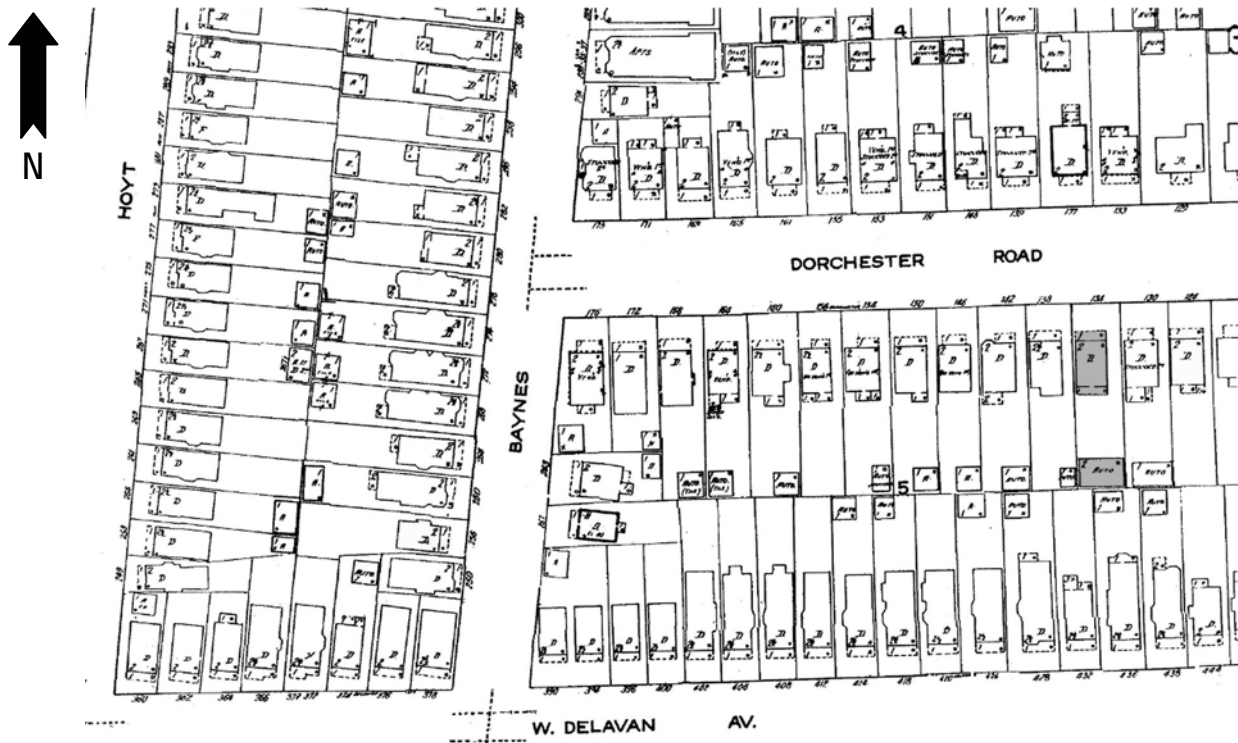
A two-and-one-half story, front gabled, urban frame residence of Queen Anne style. It has a shortened rectangular plan and is set on a stone foundation. The façade has a full-width, flat roofed, open porch with Ionic columns, spindled wood rail, wide frieze with modest upper molding, and entry stair to the east. The modestly enframed and sidelighted main entrance is located in the east bay of the façade; set within a small vestibule projection. A small window sets to the east of the entrance in the extreme side ay. A large triple window group occupies the west bay. The second floor façade is defined by matching triple windowed polygonal oriels centered in either side bay, contained beneath the projecting gable end. A Palladian window with lattice-work and leading punctuates the decoratively shingled front gable end. Additional side entrance on the east elevation beneath a bracketed upper story, shallow, rectangular projection that continues upward into the roofline, forming a slightly projecting gabled dormer, small roofed and bracketed windowed oriel to the front on the east elevation. Several braick chimneys visible. Exterior fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double hung wood sash and fixed. Additional detailing includes notable corner pilasters, wide frieze, bracketing and trim.

A large cross-gabled outbuilding with small cupola occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 134 Dorchester Road is significant as a good representative example of a two-and-one-half story, front gabled, urban frame residence of Queen Anne style. Styled urban singles of varying Queen Anne influence, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, on the West Side, though this street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-2)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 137 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known Green & Wicks Date of construction, if known 1914

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other stucco

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 137 Dorchester Road is set on a widened standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

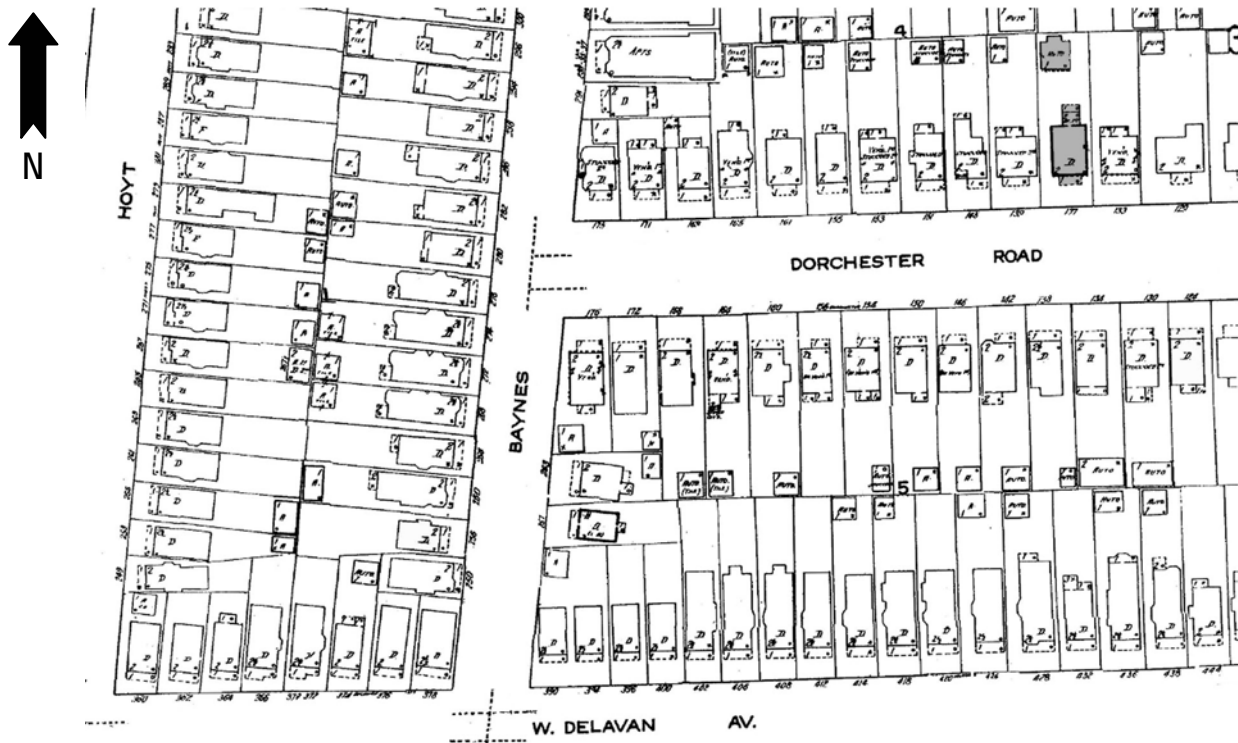
A two-and-one-half story, flared hipped roofed, urban, frame residence of foursquare influenced design and mixed period styling. It has shortened rectangular plan with a central rear extension. The façade has a centered ¾-width, flat roofed, open porch with slender Ionic columns, intricately patterned open wood rail, and modest frieze. Large framed and sidelighted French doors are located centrally on the façade, under the porch. The main entrance is located on the west elevation, beneath an entry vestibule of similar style to the porch. The second floor façade is defined by matching large single windows with shuttering centered in either side bay. A small flared hipped roof dormer accented by a slender single window sets centered on the front slope. A similar dormer sets on the west roof slope. Tall exterior brick chimneys visible on the east elevation. Exterior fabric is largely stucco. Fenestration is six-over-six, four-over-four and one-over-one double hung wood sash and fixed, with brick sills and arched surround observable on the façade. Additional detailing includes open eaves, exposed rafter tails and notable brick quoins at the corners.

A small flat roofed garage sets in the rear west corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 137 Dorchester Road is significant as a good representative example of a notable architect designed, two-and-one-half story, flared hipped roofed, urban, frame residence of foursquare influenced design and mixed period styling. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Edmund Thomas. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-3)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 138 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1917

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 138 Dorchester Road is set on a standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

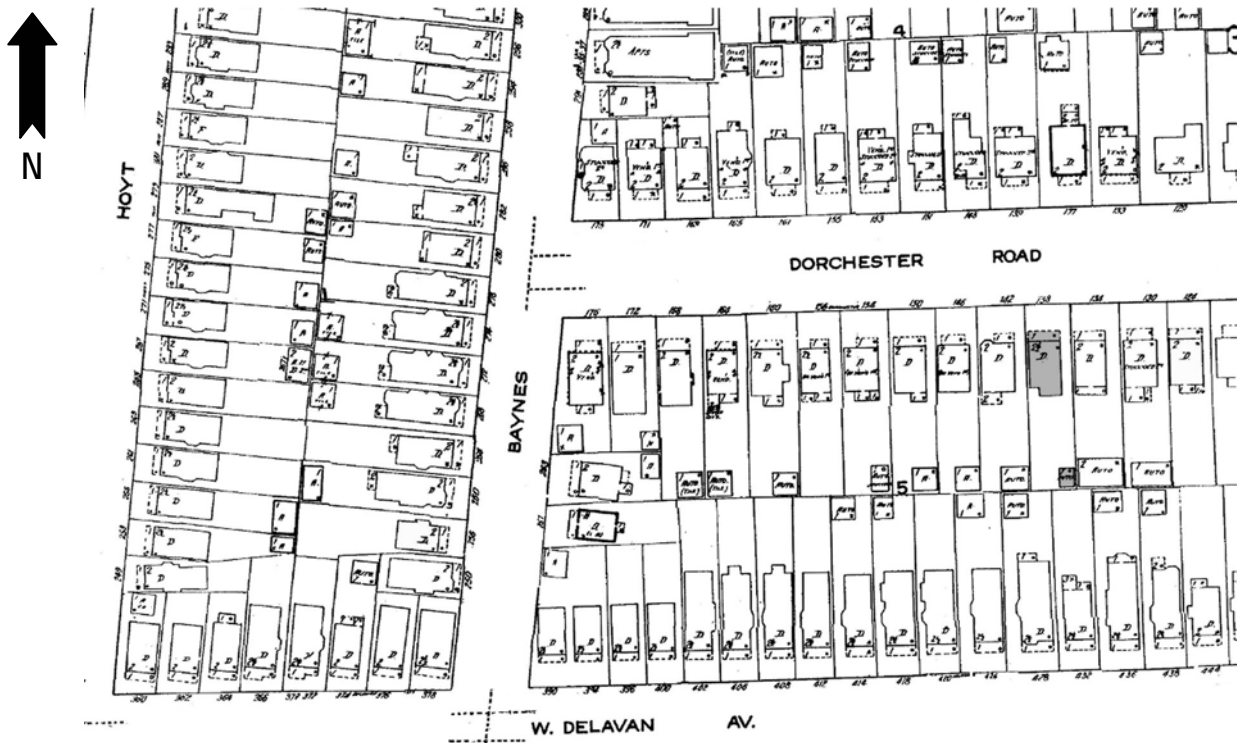
A two-story, flared hipped roofed, urban, frame residence of foursquare influenced design and simple vernacular Craftsman styling. It has a shortened rectangular plan with a small rear extension. It is set on a low stone foundation. The façade has a full-width, hipped roof, open porch with square trimmed elephantine column supports, open wood rail, no entablature, slightly extended eaves, and a railed entry stair to the east. The framed main entrance is located on the façade off center to the east, set within an enclosed rectangular vestibule. A single window sets to the east of the entrance in the extreme side bay. Two evenly spaced single windows set in the west bay. The second floor façade is defined by symmetric single windowing with shutters. A flared hipped roof dormer accented by a small double window sets centered on the front slope. A small shed roof dormer sets on the western roof slope. Tall exterior brick chimney visible to the front on the west elevation. Exterior fabric is largely stucco. Fenestration is nine-over-one, six-over-one, and one-over-one double hung wood sash and fixed. Additional detailing includes wide eaves, modest frieze, belt course, and trim.

A small garage occupies the rear west corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 138 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban, frame residence of foursquare influenced design and simple vernacular Craftsman styling. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for John H. Zook. A Contributing building to the Richmond Avenue-Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-3)





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P.O. BOX 189, WATERFORD, NY 12188
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OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 139 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1908

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other stucco

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

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The single family house at 139 Dorchester Road is set on a widened standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

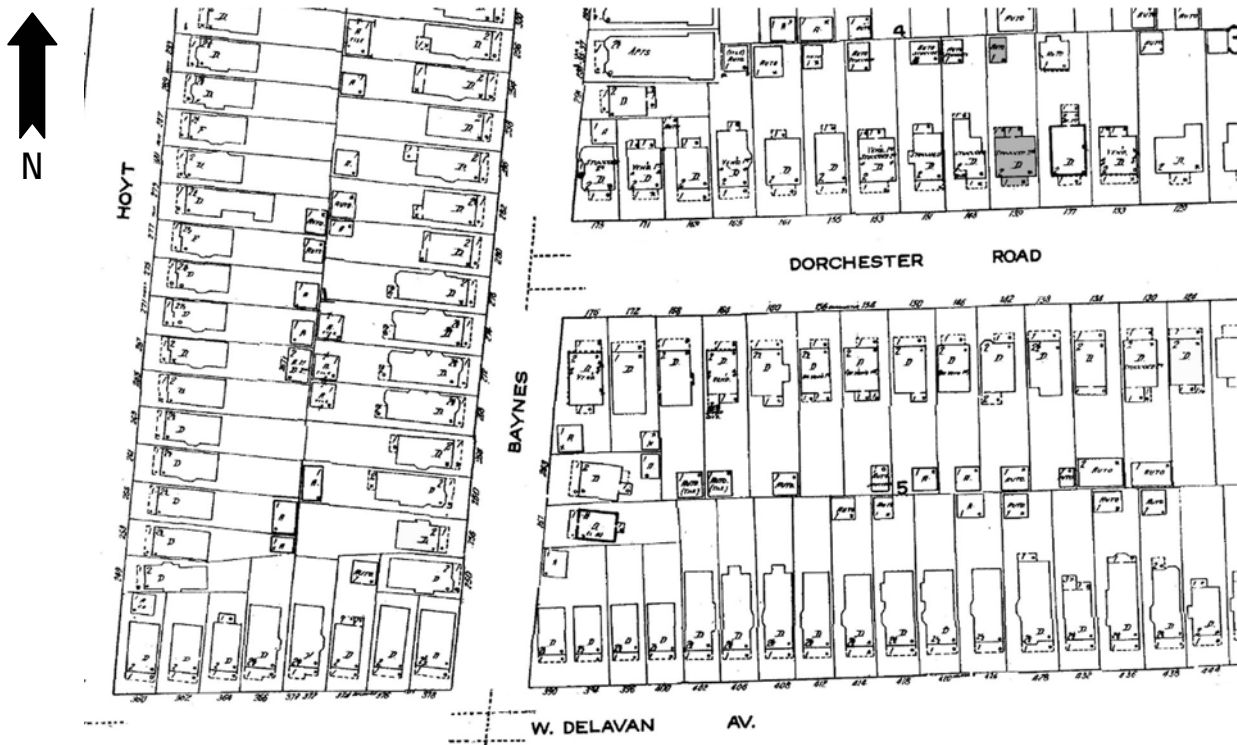
A two-story, flared hipped roofed, urban residence of foursquare influenced design and period Craftsman styling. It has a squared plan with a small rear extension in the west. It is set on a stone foundation. The façade has a centered ½-width, hipped roof porch with square columns, open wood rail, plain frieze, extended eaves, west side enclosure, and a central entry stair. The modestly framed and sidelighted main entrance is located centered on the façade, under the porch. Single windows set on either side of the entrance under the porch; an additional set of single windows occupy either far side bay. The second floor is defined by matching paired windows centered in either side bay and a small central single window. A flared hipped roof dormer accented by triple window sets centered on the front slope. A tall exterior brick chimney is visible to the front on the east elevation. Exterior fabric is wood shingle on the lower story, stucco upper with extensive framing. Fenestration is eight-over-one, six-over-one, four-over-one and one-over-one double hung wood sash and fixed. Additional detailing includes exposed rater tails in the eaves, modest corner boards, belt course and framing.

A small garage sets in the rear west corner.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 139 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban residence of foursquare influenced design and period Craftsman styling. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Sylvanus B. Nye. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-4)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 142 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1909

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 142 Dorchester Road is set on a standard lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

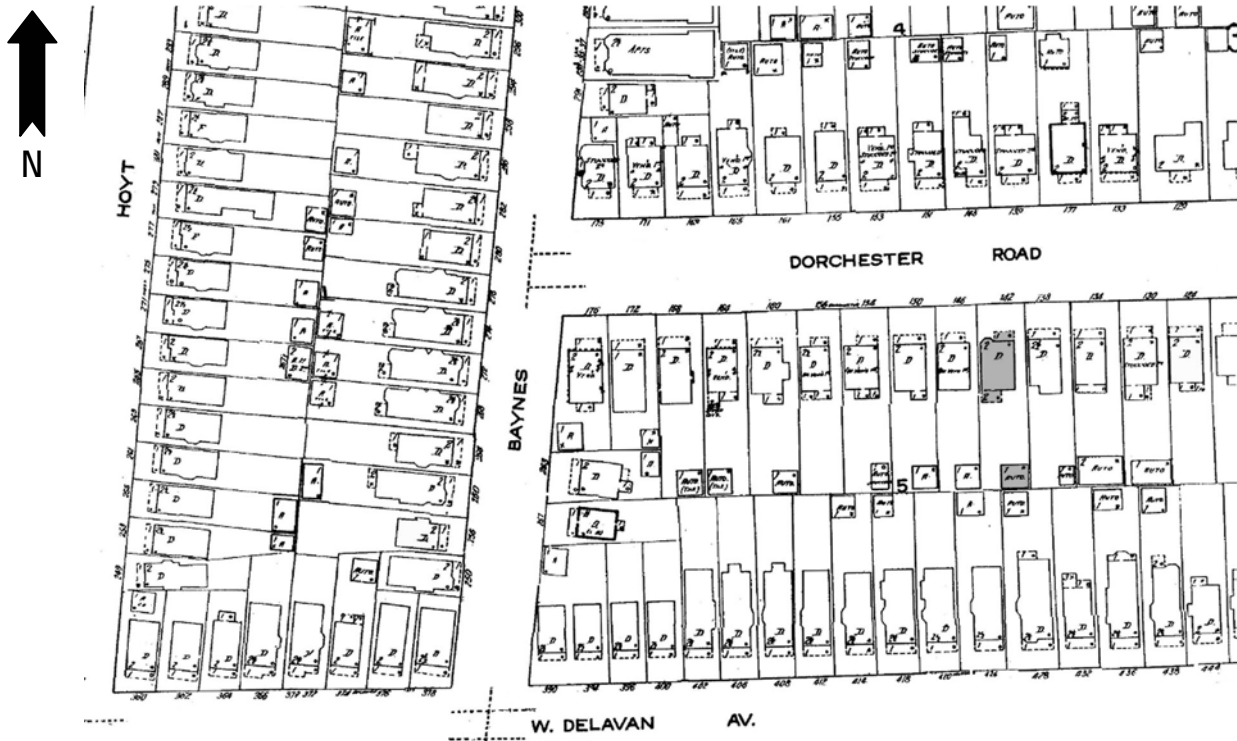
A two-and-one-half story, front gabled, urban, frame residence of mixed period Queen Anne influenced style. It has shortened rectangular plan and is set on a stone foundation. The façade has a 2/3-width, hipped roof, open porch with ¾-height square column supports set on patterned wood posts, open wood rail, plain frieze with low arched cut-outs, west side enclosure, and a metal railed entry stair in the west. The main entrance is located centrally on the façade, beneath the porch. A paired window sets in the east bay. The west bay is dominated by a two-story, roofed, polygonal bay with tiered triple windowing. The second floor façade is marked by a small central bracketed and roofed polygonal oriel. An unusual shed roof dormer sets on the east roof slope; a small gabled dormer sets further to the rear. Tall chimney visible at the lower front corner of the east roof slope. Exterior fabric is wood shingle. Fenestration is primarily one-over-one and one-over-two double hung wood sash and fixed. Additional details include frieze and cornice molding, subtle brackets, verge boards and trim.

A garage occupies the rear east corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 142 Dorchester Road is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of mixed period Queen Anne influenced style. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Charles R. Phipps. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-4)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 145 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1910

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco with aggregate	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 145 Dorchester Road is set on a standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

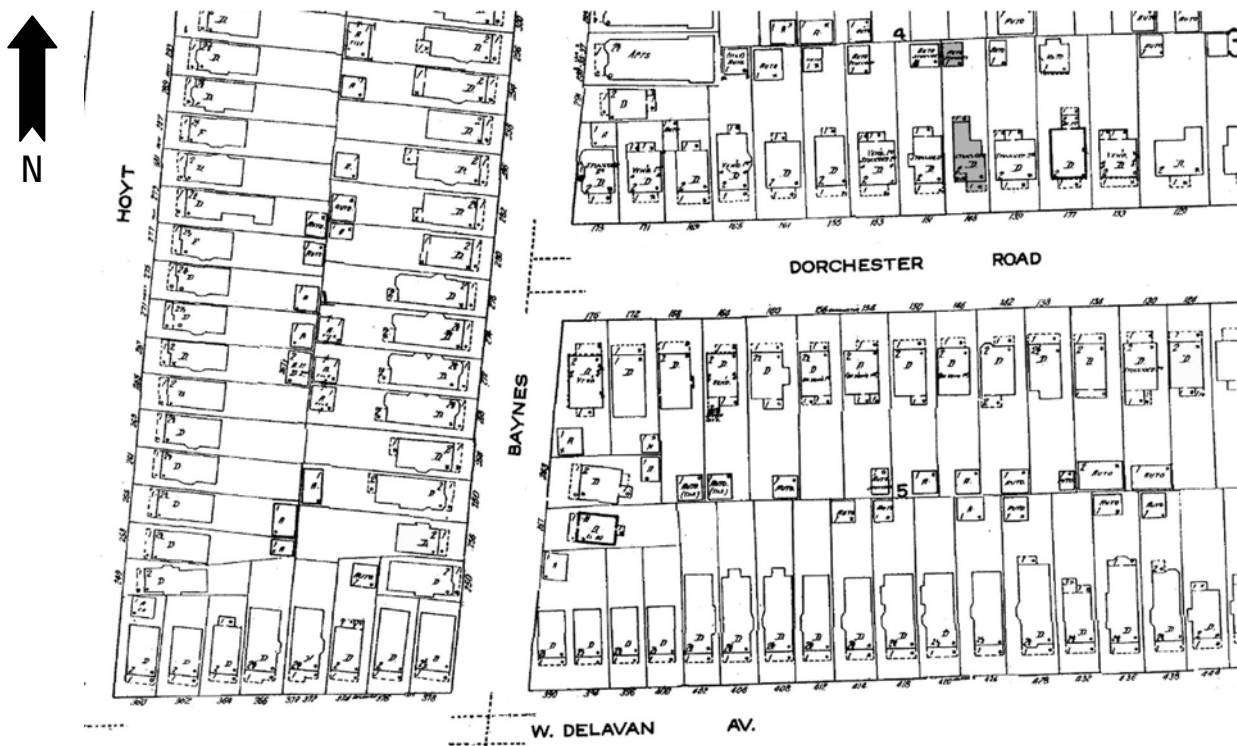
A two-story, flared hipped roofed, urban residence of initial foursquare influenced design and Craftsman styling. It has a rough L-shaped plan with squared main block and a large extension to the rear in the west. The façade has 2/3-width, hipped roof, open porch to the east, with 3/4-height slender square column supports grouped with decorative lattice and open woodwork, stone capped brick rail that extends down into the foundation, plain frieze with flattened arch cutouts, and extended eaves. The main entrance is located in a small enclosed entry porch recessed in the far west bay of the façade with an arched entry and side opening and a small stair. A large elongated multiple window group sets in the east bay of the façade under the porch. The second floor façade has a triple window group in the east bay and a unique angled oriel in the west, and is marked by extensive framing. A low flared hipped roof dormer with window accent sets centered on the front slope. A similar dormer sets on the west roof slope. Tall exterior brick chimney visible on the east elevation; additional chimney to the rear on the lower west slope. Exterior fabric is stucco with aggregate and lower brick work. Fenestration is twelve-over-one, six-over-one, six-over-six, four-over-one and one-over-one double hung wood sash and fixed. Additional detailing includes wide eave, exposed rafter tails, belt course, and trim.

A garage sets in the rear west corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 145 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban residence of initial foursquare influenced design and Craftsman styling. Styled urban singles of varying Queen Anne influence, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, on the West Side, though this street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-5)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 146 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1913

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other stucco	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

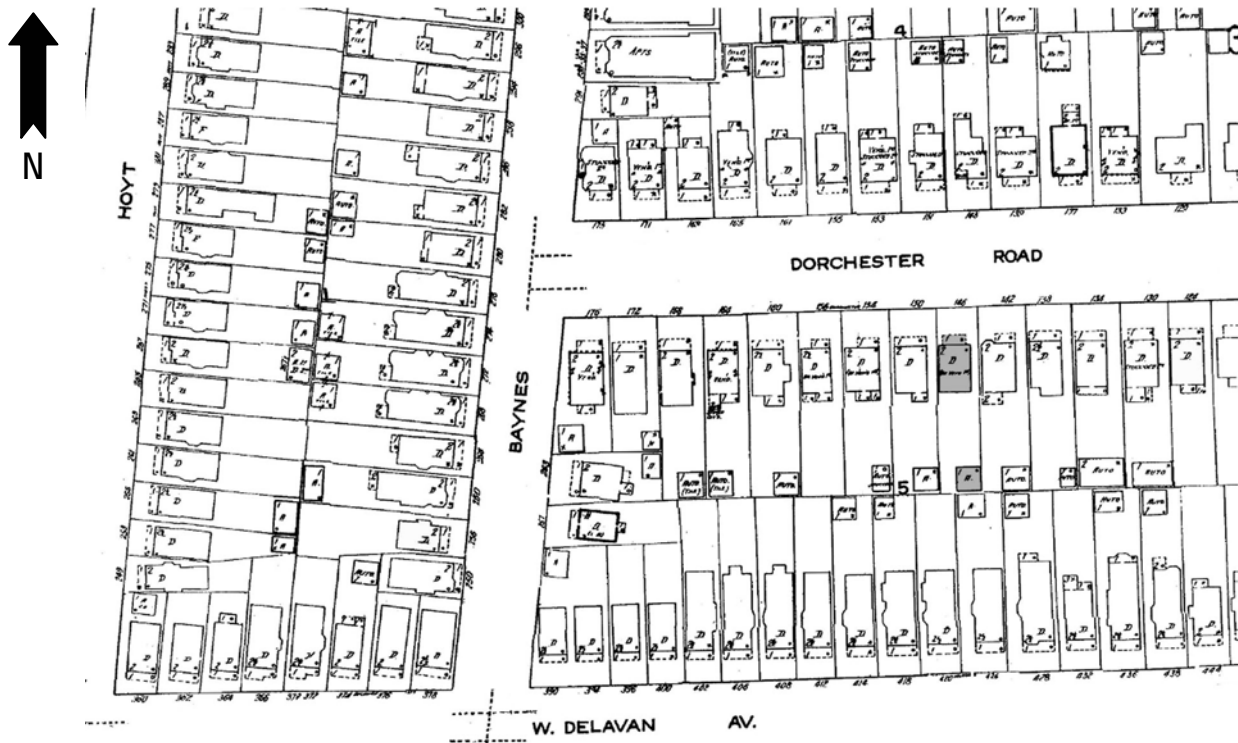
The single family house at 146 Dorchester Road is set on a standard lot. Located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

A two-story, flared hipped roofed, urban residence of foursquare design and modest period Craftsman styling. It has a squared plan and is set on a stone foundation. The façade has a centered 7/8-width, flat roofed, enclosed living porch with symmetric triple window groups along the front, paired windowing at the sides, wide frieze space and extended eaves with visible rafter tails. The main entrance is located on the east elevation beneath a supported hipped roof awning. The second floor is defined by a central paired window and single windows set in either side bay. A gabled wall dormer accented by verge boards and a small double window sets centered on the front slope, interrupting and continuing through the roofline. Tall exterior brick chimney visible to the front on the west elevation. Exterior fabric is brick on the lower story and stucco upper. Fenestration is three-over-one and one-over-one double hung wood sash and fixed. Additional detailing includes extended eaves with exposed rafter tails, belt course, and subtle framing.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 146 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban residence of foursquare design and modest period Craftsman styling. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Frank C. Buso. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-5)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 150 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1910

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 150 Dorchester Road is set on a standard lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

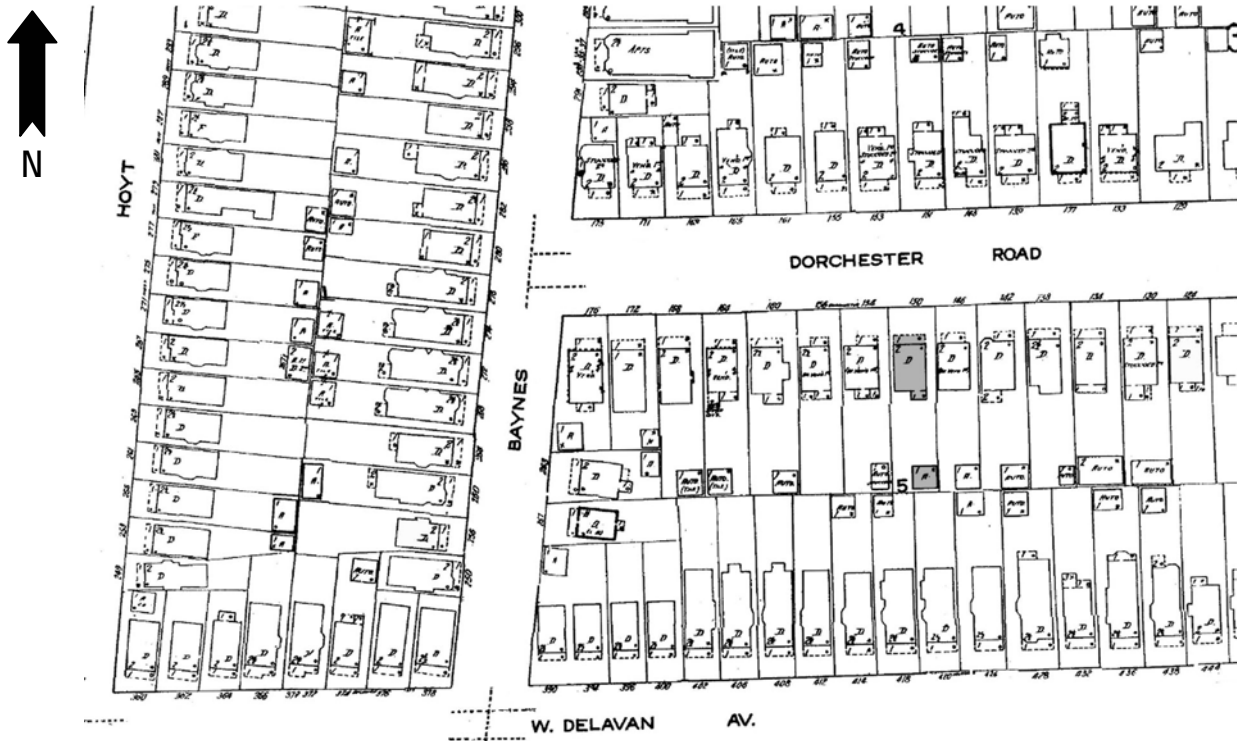
A two-story, flared hipped roofed, urban frame residence of foursquare influenced design and mixed period styling and detail. It has a squared main block with a small shed roof lean-to extension at the rear in the east. It is set on a stone foundation. The façade has a full-width, flat roofed, open porch with ¾-height Ionic column supports set on capped stone piers and solid rail that extend down into the foundation, modest frieze, extended eaves with exposed rafter tails, and a central entry stair. The modestly enframed and sidelighted main entrance is located on the façade off center to the east. A slim single window with similar enframent sets to the east of the entrance in the far side bay. A triple window group with similar enframent occupies the west bay. The second floor façade has a rectangular oriel in the east bay and a polygonal oriel in the west, both with triple windowing. A flared hipped roof dormer accented by a triple window group sets centered on the front slope. A similar dormer sets on the west roof slope. Small first story roofed bay with windowing visible on the west elevation. Tall exterior brick chimney visible to the front on the west elevation. Exterior fabric is wood clapboard and shingle. Fenestration is twelve-over-one, six-over-one, and one-over-one double hung wood sash and fixed. Additional detailing includes wide eaves with exposed rafter tails, modest belt course and trim.

A garage occupies the rear east corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 150 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban frame residence of foursquare influenced design and mixed period styling and detail. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for John C. Pagels. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-6)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 151 Dorchester Road
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known Emerson C. Dell Date of construction, if known 1910

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other stucco

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 151 Dorchester Road is set on a standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

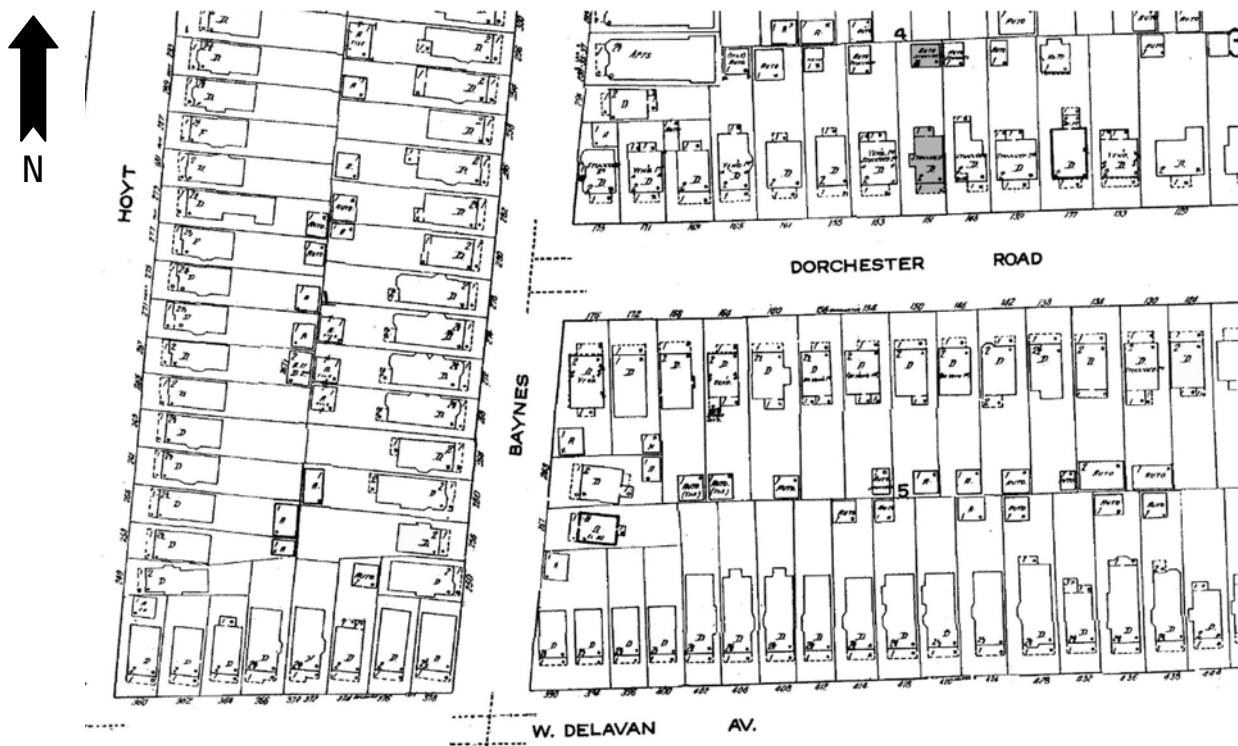
A two-and-one-half, side gabled, urban residence with mixed Colonial and Craftsman styling. It has a rough shortened plan and is set on a stone foundation. The façade has a full-width, flat roofed, enclosed living porch with a patterned wood panel base, elongated multi-paned ribbon windowed upper spaced by full-height slender square elephantine columns, and modestly molded frieze space and cornice with bracketing. The main entrance with ornamented awning is located on the west elevation, set in the front face of a multi-story, side gabled, projecting bay. Additional entrance at the rear of the projection. The second floor façade is defined by matching rectangular oriels with paired windows set in either side bay. A gabled dormer accented by a small triple window sets centered on the front slope. Exterior fabric stucco. Fenestration is nine-over-one, six-over-one, and one-over-one double hung wood sash and fixed, with multi-paning. Additional detailing includes notable verge boards and bracketing.

A garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 151 Dorchester Road is significant as a good representative example of an architect designed, two-and-one-half, side gabled, urban residence with mixed Colonial and Craftsman styling. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for the Dorchester Improvement Co. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-6)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 153 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1909

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 153 Dorchester Road is set on a standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

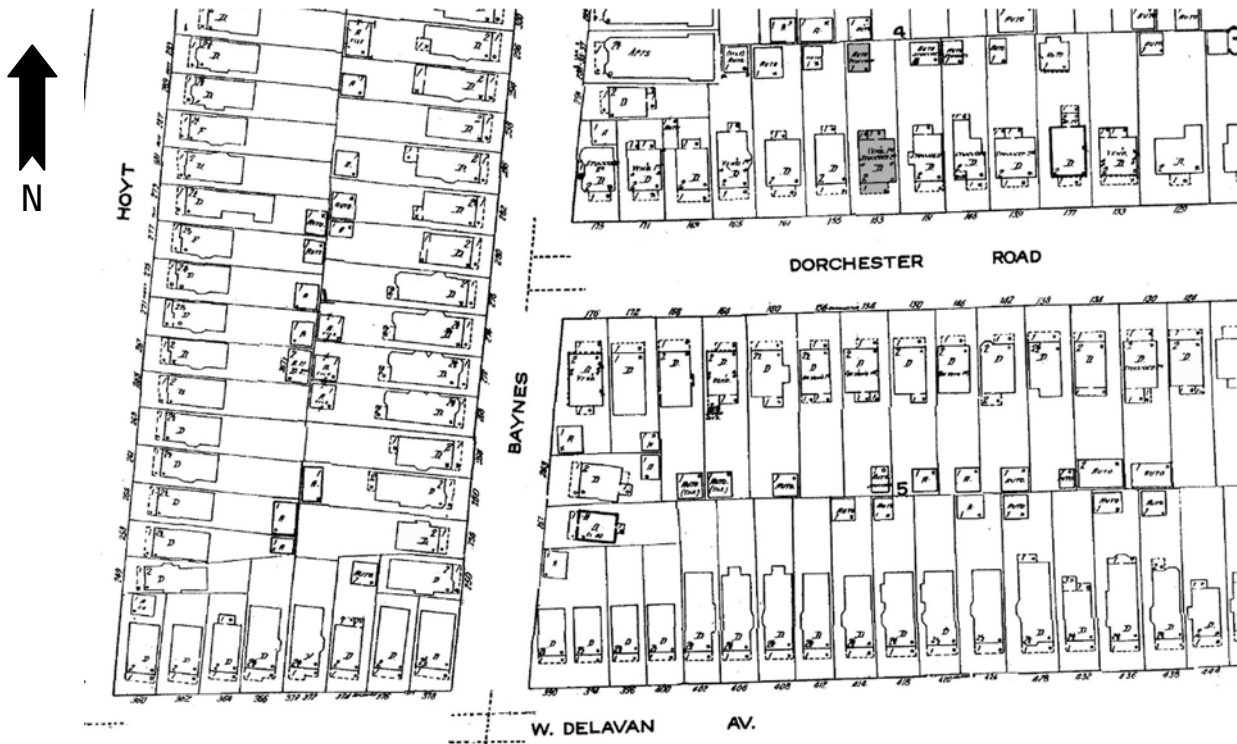
A two-story, flared hipped roofed, urban, frame residence of foursquare influenced design and Prairie influenced Craftsman styling. It has a squared main block with a small extension at the rear in the west, the façade has a ¾-width, hipped roof, open porch to the west, with square brick columns and solid capped brick rail that extended over and into the foundation, west side enclosure, plain frieze, extended eaves with exposed rafter tails, and a metal railed central entry stair. The main entrance is located on the façade off center to the west, set within a shallow brick vestibule. A single window sets to the west of the entrance in the far side bay. Two even spaced single windows set in the west bay. The second floor façade is defined by matching shallow rectangular oriels with paired windows centered in either side bay. A low flared hipped roof dormer accented with lattice paned triple windowing sets centered on the front slope. A similar dormer sets on the west roof slope. Small first story, roofed bay window visible to the front on the west elevation. Tall exterior brick chimney to the front on the west elevation. Exterior fabric is on the lower story, stucco upper. Fenestration is eight-over-one and one-over-one double hung wood sash, casement and fixed. Additional detailing includes wide eaves with exposed rafter tails, modest belt curse and trim.

A garage occupies the rear west corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 153 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban, frame residence of foursquare influenced design and Prairie influenced Craftsman styling. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Dorchester Improvement Co. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-7)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 154 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known Emerson C. Dell Date of construction, if known 1909

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other stucco

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 154 Dorchester Road is set on a standard lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

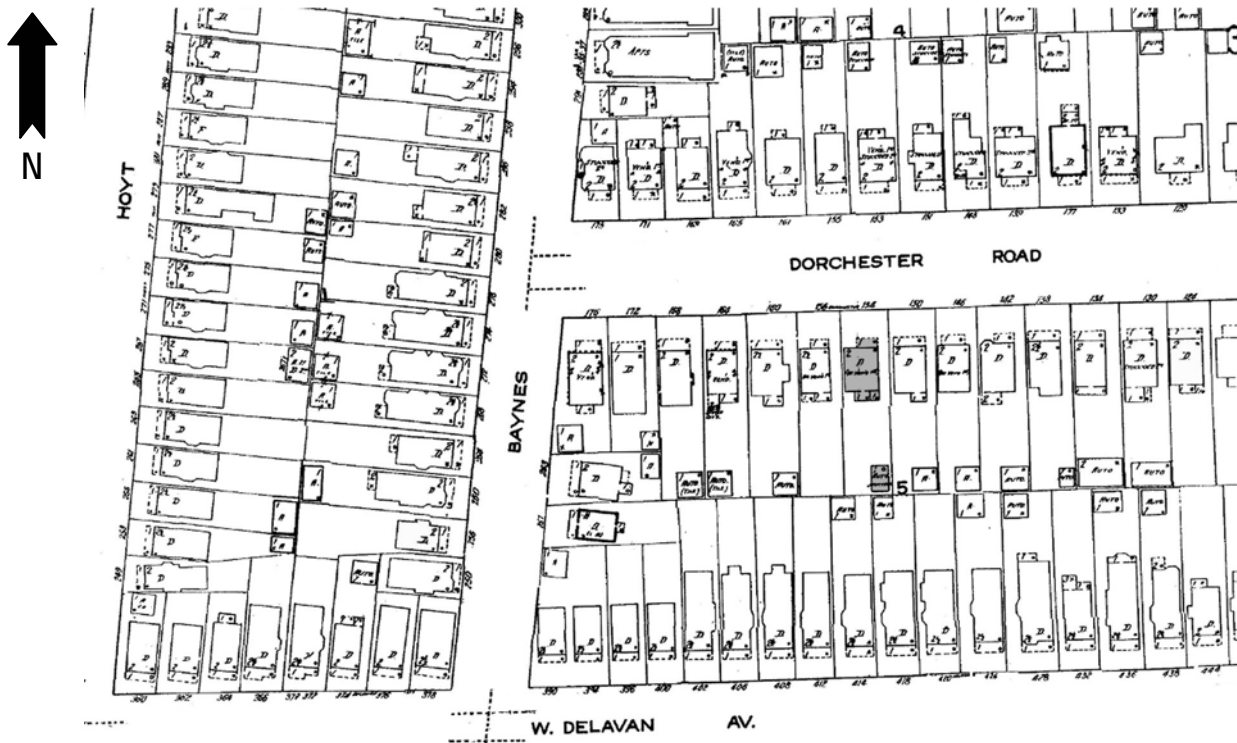
A two-and-one-half story, flared front gabled, urban residence of mixed period styling and modest chalet influenced detail. It has a rough shortened rectangular plan and is set on a low stone foundation. The façade has a ¾-width, flat roofed, open Craftsman brick porch to the east, with square brick columns and solid capped brick rail that extend down into the foundation, west side enclosure, plain frieze, extended eaves, and metal railed central entry stair. The main entrance is located on the façade off center to the east, set within a shallow brick vestibule. A single window sets to the east of the entrance in the far side bay. Two evenly space single window set in the west bay – one under the porch, one not. The second floor façade is defined by matching paired windows centered in either side bay and a slim central single window. The gable end is punctuated by a triple window with moderate surround accented with bracketed mullions and medallions. A small gabled dormer with framed window and awning accents sets on the east roof slope. Slightly projecting roofed rectangular bay and small roofed polygonal bay window visible to the fronton the east elevation. Tall brick chimney to the front on the west roof slope. Exterior fabric is brick on the lower story, stucco with notable half timbering on the upper stories, dormers and projections. Fenestration is six-over-one and one-over-one double hung wood sash, casement, and fixed with multiple panes and lattice work; large stone lintels on the lower story. Additional detailing includes belt course and framing and open eaves with shaped rafter tails.

A garage sets in the rear east corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 154 Dorchester Road is significant as a good representative example of an architect designed, two-and-one-half story, flared front gabled, urban residence of mixed period styling and modest chalet influenced detail. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Dorchester Improvement Co. A Contributing building of the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-7)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 155 Dorchester Road
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known Matthew J. Hudson, bldr Date of construction, if known 1912

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 155 Dorchester Road is set on a standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

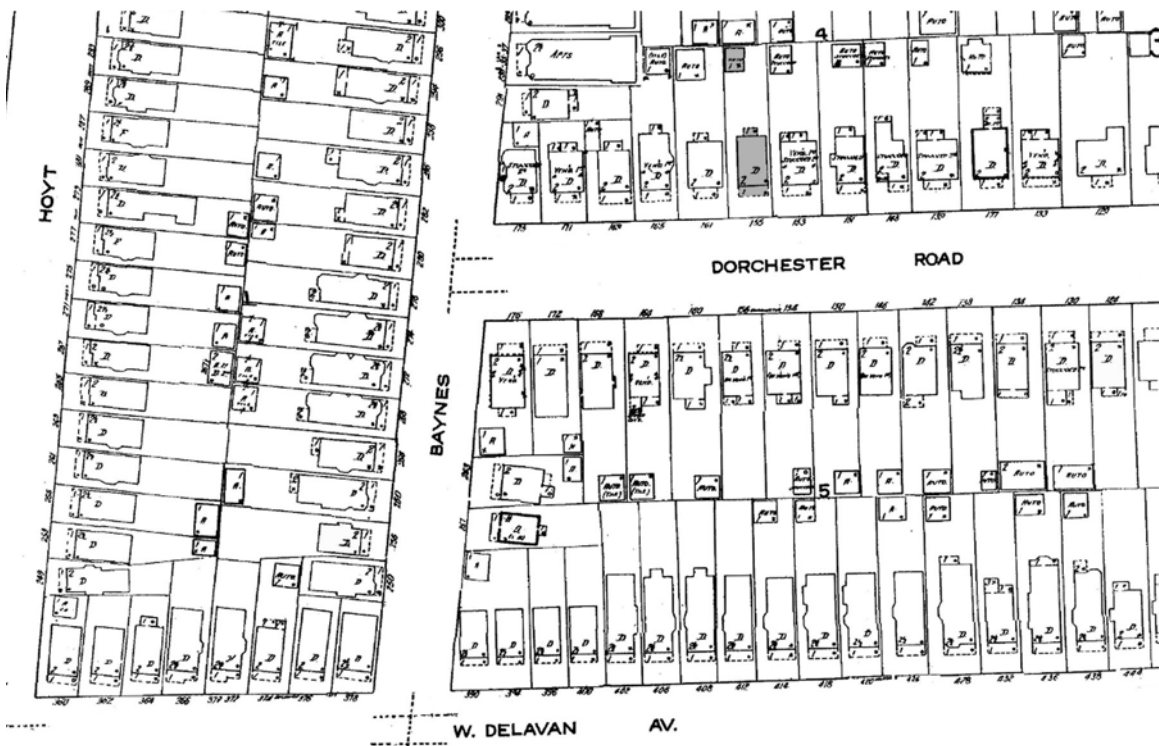
A two-story, flared hipped roofed, urban, frame residence of foursquare influenced design and mixed period styling with limited Craftsman inspired detail. It has a shortened rectangular plan is set on a low stone foundation. The façade has a full-width, flat roofed, open porch with large square patterned and bracketed capital wood columns that extend to the ground, spindled wood rail atop a low clapboard base, wide frieze space with arched cut-outs, extended eaves, and west side entry. The framed main entrance is located on the façade off center to the west. A large window group occupies the east bay. The second façade is defined by matching paired windows centered in either side bay. A low flared hipped roof dormer accented with triple windowing sets centered on the front slope. A smaller dormer of similar design sets on the west roof slope. Exterior fabric is wood clapboard. Fenestration is four-over-one and one-over-one double hung wood sash and fixed, with some leading. Additional detailing includes wide eaves and modest trim.

A garage occupies the rear west corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 155 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban, frame residence of foursquare influenced design and mixed period styling with limited Craftsman inspired detail. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Albert E. Burgers. A Contributing building of the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-8)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 156 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1908

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

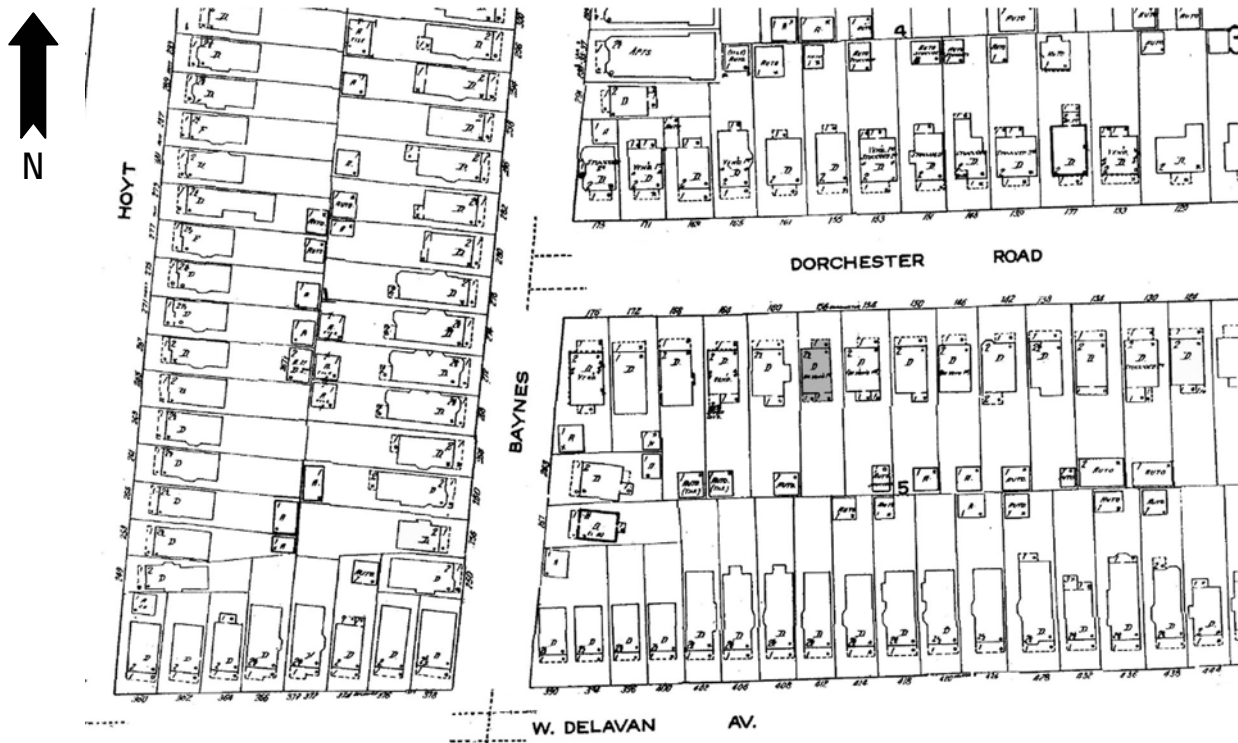
The single family house at 156 Dorchester Road is set on a standard lot, located on the south side of street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

A two-story, hipped roofed, urban brick and frame residence of foursquare design and simple mixed period styling. It has a shortened rectangular plan and is set on a low stone foundation. The façade has a ¾-width, flat roofed, open porch to the east, with continuous brick supports and rail with modest caps, arched openings, extended eaves with exposed rafter tails, and a metal railed entry stair in the east. The main entrance is located on the façade off center to the east, set within a shallow brick vestibule. A single window sets to the east of the entrance in the far side bay. Two even spaced single windows set in the west bay – one under the porch, one not. The second floor façade is defined by a small rectangular oriel with paired window centered in the east bay and matching paired window centered in the west side bay. A hipped roof dormer accented with a double window sets centered on the front slope. A similar dormer sets on the east roof slope. Small first story, roofed, rectangular bay visible on the west elevation. First story extension to the rear. Tall exterior brick chimney visible to the front on the west elevation. Exterior fabric is brick on the lower story, wood shingle on the upper story, dormers, and projections. Fenestration is six-over-one, four-over-one and one-over-one double hung wood sash and fixed. Additional detailing includes modest belt course, frieze, and small visible rafter tails.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 156 Dorchester Road is significant as a good representative example of a two-story, hipped roofed, urban brick and frame residence of foursquare design and simple mixed period styling. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Sylvanus B. Nye. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-8)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 160 Dorchester Road
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known 1911

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
-------------	---	--------------------------------	--	---

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 160 Dorchester Road is set on a standard lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

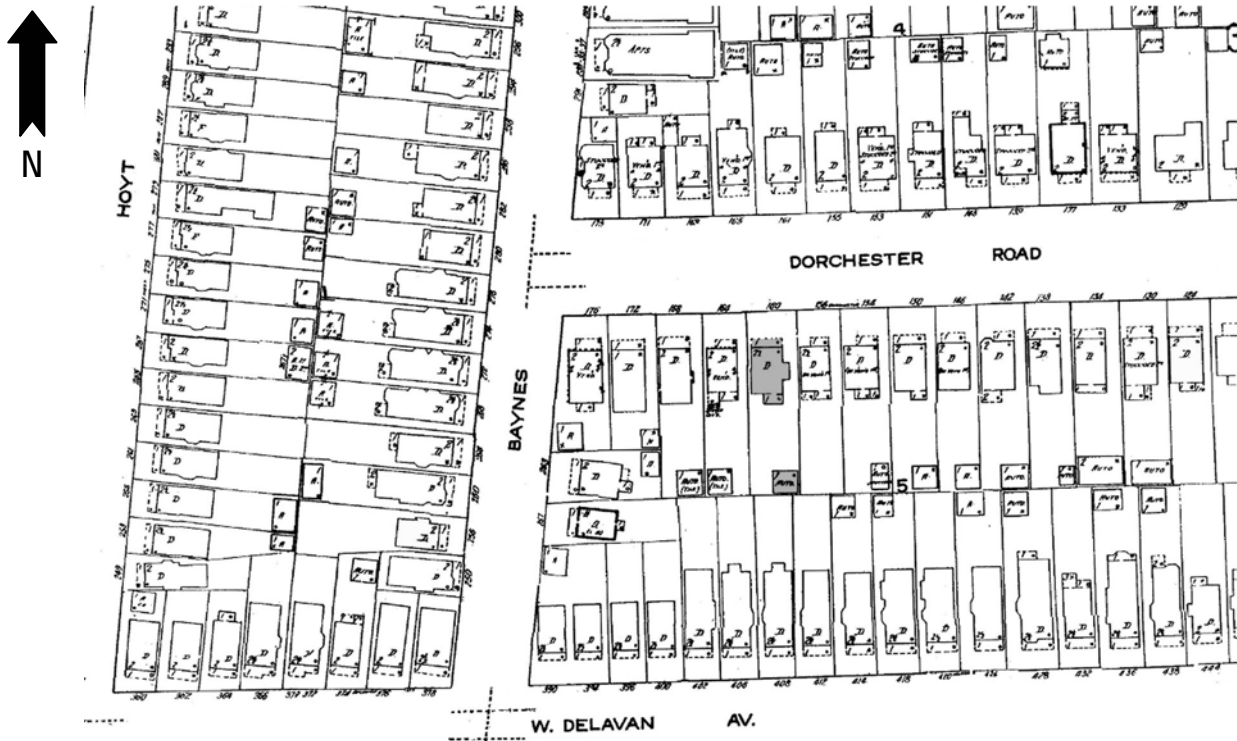
A two-story, flared hipped roofed, urban residence of modified foursquare influenced design and mixed period Prairie influenced styling. It has a rough squared plan with a square main block and small rear extension to the east. It is set on the stone foundation. The façade has a centered 7/8-width, flared hipped roof porch with thick square shingled elephantine columns, open wood rail, and extended eaves. A modestly framed and sidelighted French door entrance is located centrally on the façade, under the porch. The main entrance with notable bracketed hood is located on the face of a two-story flared roof rectangular bay on the east elevation. An additional side entrance with awning sets to the rear of the bay. The second floor is defined by matching shallow rectangular oriels with paired windows centered in either side bay. A flared hipped roof dormer accented by a single window sets centered on the front slope. A similar dormer sets on the eastern slope. Tall brick chimneys on the east roof slope to either side of the dormer. Exterior fabric is wood shingle. Fenestration is six-over-one and one-over-one double hung wood sash and fixed. Additional detailing includes modest framing and extended eaves.

A garage occupies the rear east corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 160 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban residence of modified foursquare influenced design and mixed period Prairie influenced styling. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for the Buffalo Building Co. A Contributing building of the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-9)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 161 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1911

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 161 Dorchester Road is set on a standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

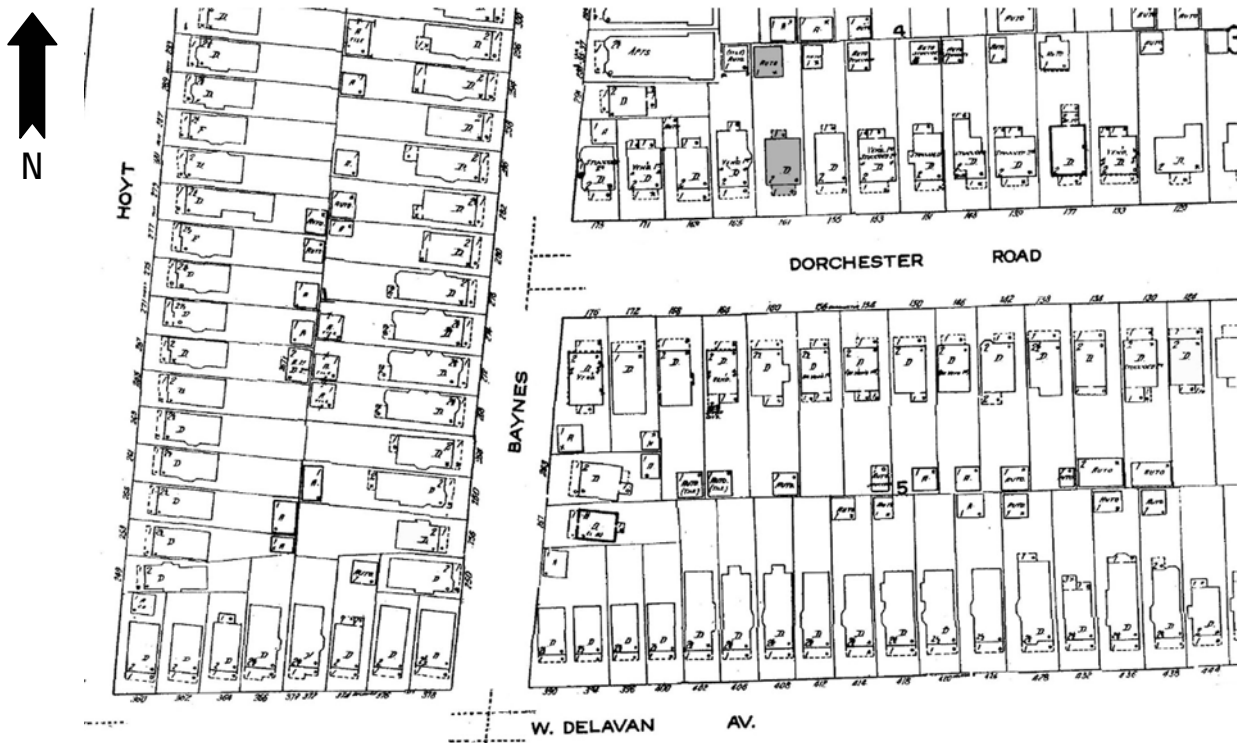
NON-CONTRIBUTING

A two-and-one-half story, side gabled, urban residence of simple colonial influenced design and mixed period styling.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 161 Dorchester Road is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains some of its initial styling and character, despite the changes in exterior fabrics. Built for Clarence A. Wicker.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-9)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 164 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1909

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

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The single family house at 164 Dorchester Road is set on a standard lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

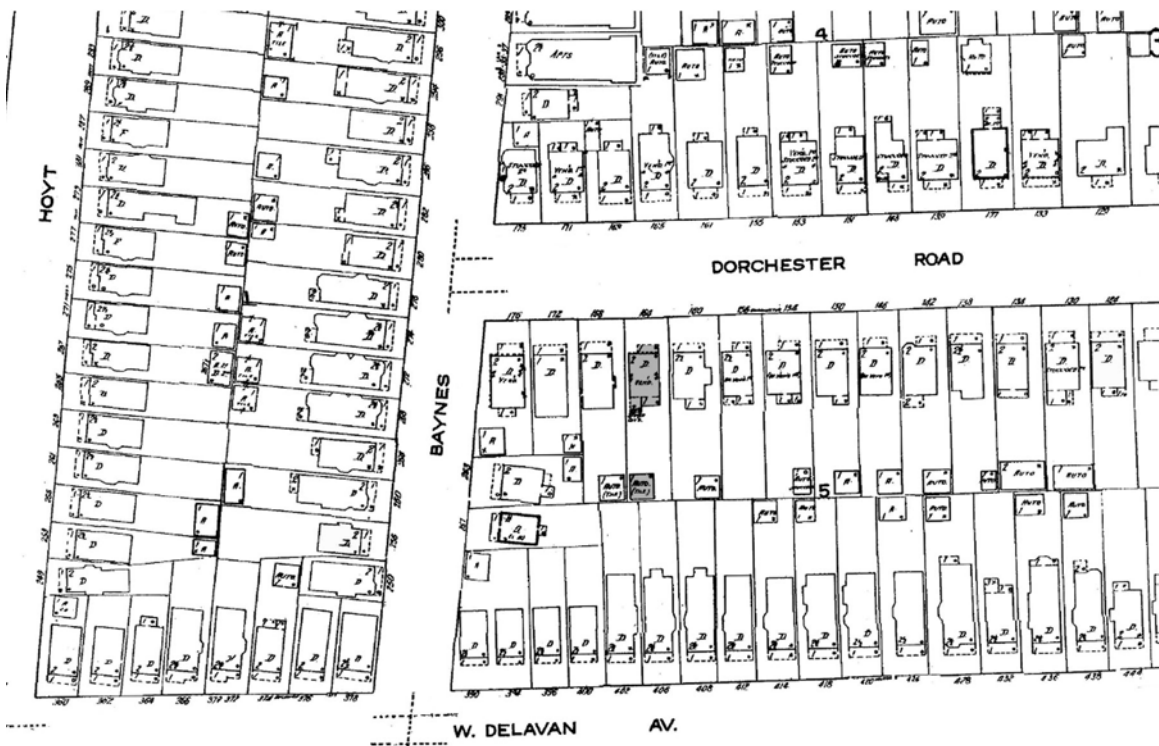
A two-story, flared hipped roofed, urban, brick residence of foursquare inspired design and reserved Prairie styling. It has a rough squared plan and is set on a low stone foundation. The façade has a centered 7/9-width, flat roofed, enclosed, brick porch with symmetric double window groups along the front, triple windowing at the sides, angled buttress-like supports at the forward corners, plain frieze space. Extended eaves and a central railed entry stair. The main entrance is located centrally on the facade with sidelight and transom surround. The second floor is defined by two evenly spaced single windows set in either side bay and a small central single window. A large flared hipped roof dormer accented by small quartet windowing with latticework panes set centered on the front slope. A smaller dormer of similar design sets on the east roof slope. Roofed rectangular oriel with triple windowing visible on the east elevation; smaller roofed bay further to the front. Brick chimney visible to the rear on the eastern slope. Exterior fabric is brick. Fenestration is eight-or-one, three-over-one, and one-over-one double hung wood sash and fixed.

A garage sets in the rear west corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 164 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban, brick residence of foursquare inspired design and reserved Prairie styling. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Dorchester Improvement Co. A Contributing building of the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-10)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 165 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1909

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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The single family house at 165 Dorchester Road is set on a standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

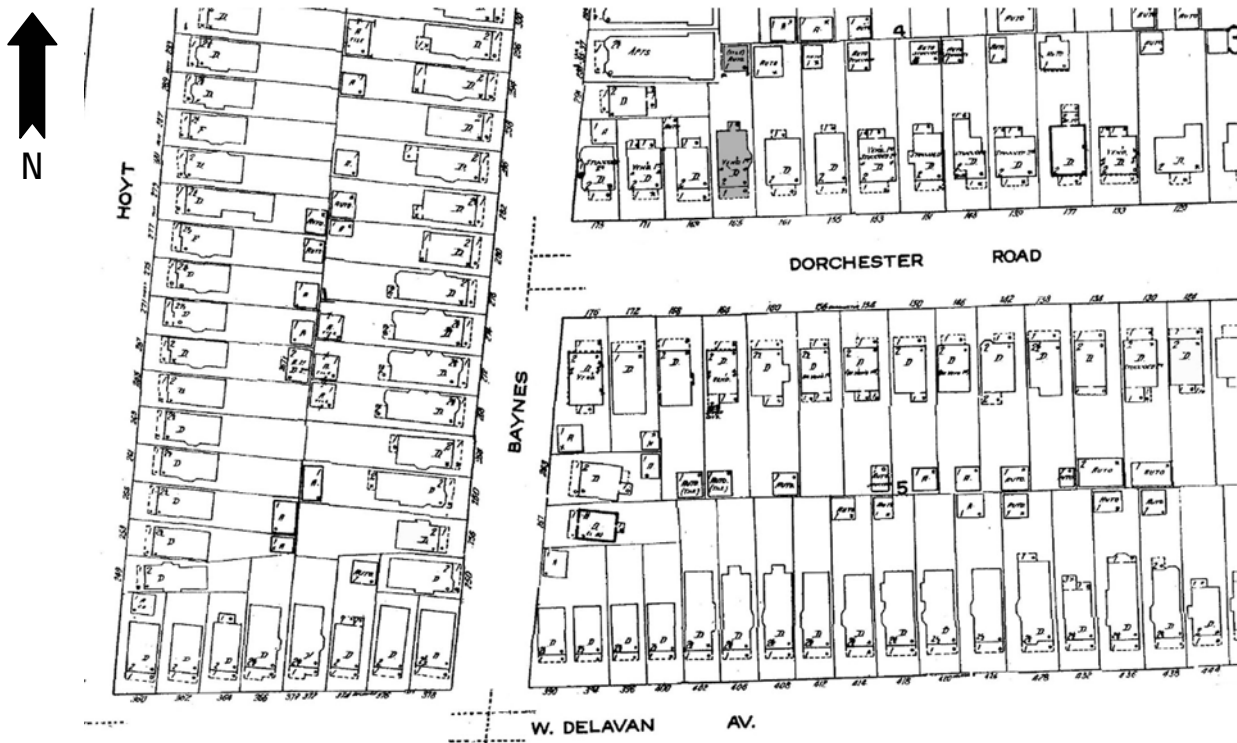
A two-and-one-half story, cross gabled, urban, frame residence of Queen Anne style. It has a rectangular plan and is set on a stone foundation. The façade has a full-width, flat roofed, open porch with slender ¾-height square columns set on capped brick piers that extend to the ground, spindled wood rail, wide frieze with modest molding, and an entry stair to the west. The main entrance is located in the west bay of the façade, set within a small enclosed vestibule. A small window sets to the west of the entrance in the extreme side bay. A large window group occupies the east bay. The second floor façade is defined by a small polygonal oriel with triple windowing; gable peak closed and trimmed. Two-story polygonal projection on the east elevation, beneath the slightly projecting pent enclosed cross gable with paired window accent. Several brick chimneys visible. Exterior fabric is brick on the lower story with clapboard and shingle upper. Fenestration is twelve-over-one, nine-over-one, four-over-one, and one-over-one double hung wood sash and fixed. Additional detailing includes belt course, frieze, rafter tails and modest framing.

A small outbuilding directly to the rear of the residence. A garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 165 Dorchester Road is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame residence of Queen Anne style. Styled urban singles of varying Queen Anne influence, such as this, were common housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, on the West Side. This street is one of few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for William H. Burke. A Contributing building of the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-10)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 168 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1919

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 168 Dorchester Road is set on a standard lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

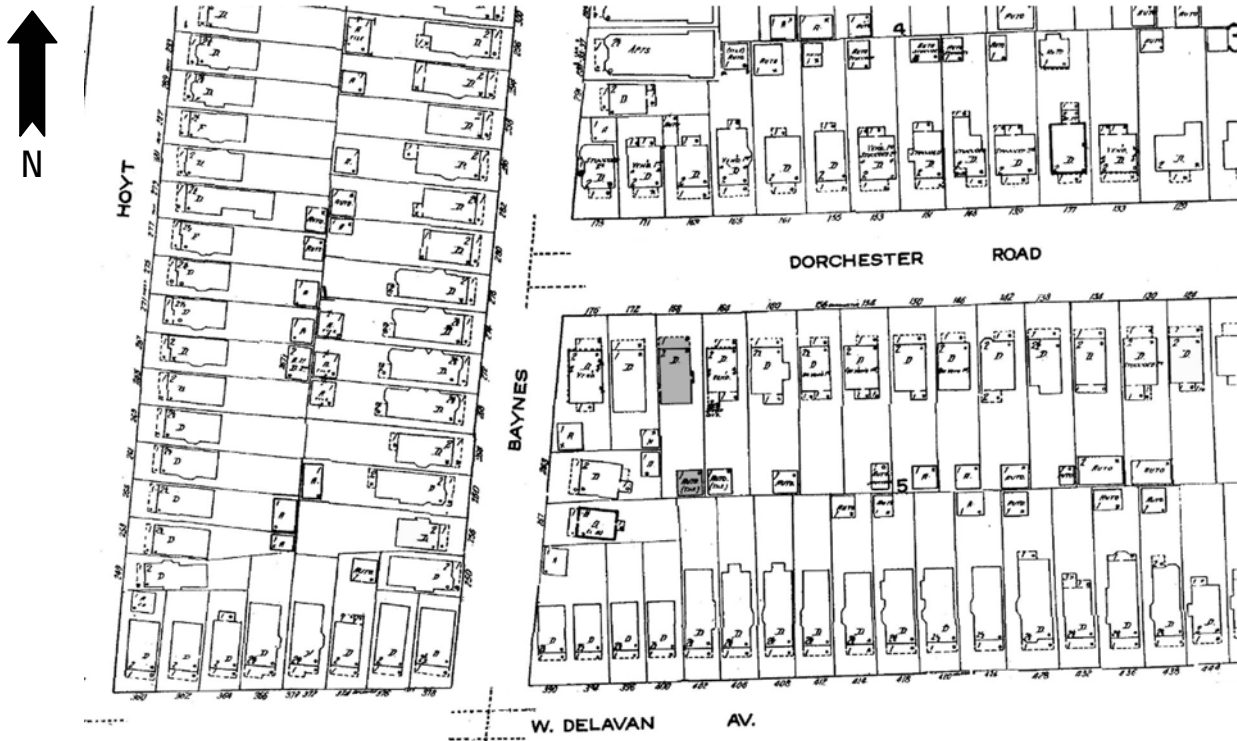
A two-and-one-half story, front gabled, urban residence of mixed period styling and chalet-influenced Craftsman detail. It has a rough shortened rectangular plan and is set on a low stone foundation. The façade has a centered ¾-width, front gabled, enclosed, brick, living porch with large capped brick pilasters at the forward corners, a central quartet elongated window grouping on the façade, wide frieze, extended eaves with verge boards, shaped rafter tails, bracketing and framing. The main entrance is located on the east elevation beneath a roofed rectangular upper story oriel with brackets. The second floor façade is defined by simple symmetric single windowing. The enclosed gable end is punctuated by a small double window and accented by moderate framing. A small gabled dormer with window accents, verge boards, and exposed rafter tails set on the east roof slope. Several brick chimneys visible. Exterior fabric is clapboard on the lower story, stucco upper with half-timbering. Fenestration s four-over-one, and one-over-one double hung wood sash and fixed. Additional detailing includes wide front frieze with molding and brackets, modest belt course, verge boards, exposed rafter tails and open brackets.

A garage sets in the rear east corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 168 Dorchester Road is significant as a good representative example of a two-and-one-half story, front gabled, urban residence of mixed period styling and chalet-influenced Craftsman detail. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for John A. Talty. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-11)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 169 Dorchester Road
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known Emerson C. Dell Date of construction, if known 1909

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 169 Dorchester Road is set on a shortened lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

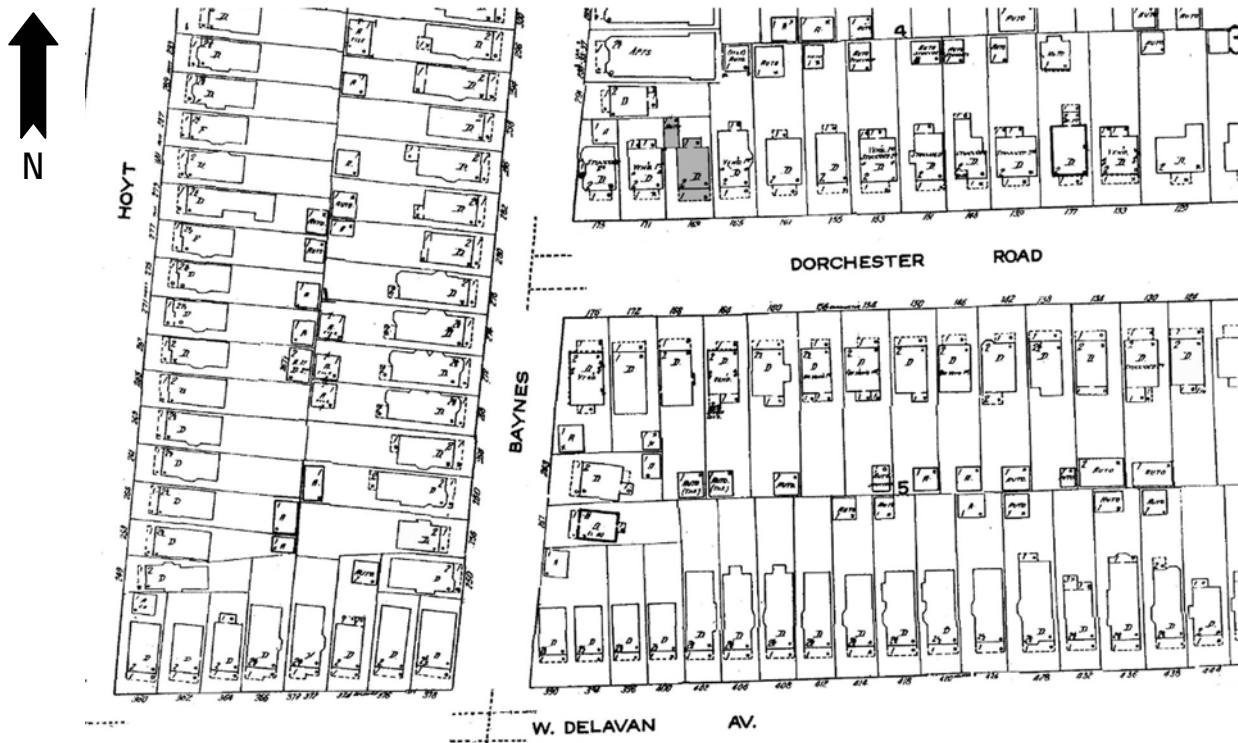
A two-story, hipped roofed, urban, frame residence of foursquare inspired design and mixed period styling. It has a squared plan and is set on a stone foundation. The façade has full-width, hipped roof, open porch with slender square patterned columns, open wood rail set on a low patterned wood base, plain frieze, and an entry stair in the west. The enframed and sidelighted main entrance is located in the west bay of the façade, within a shallow enclosed vestibule. A framed triple window group occupies the east bay. The second floor façade is defined by a matching polygonal oriels with triple windowing centered in either side bay. A gabled dormer accented by framed double window, verge boards and bracketing sets centered on the front slope. A smaller dormer of similar design sets on the west roof slope. Roofed and bracketed rectangular oriel with triple windowing visible on the east elevation; smaller roofed bay window with latticed panes further to the front. Brick chimney visible on the eastern slope. Exterior fabric is wood shingle. Fenestration is primarily one-over-one double hung wood sash and fixed. Additional detailing includes extended eaves with lookouts.

A garage sets in the rear to the west.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 169 Dorchester Road is significant as a good representative example of an architect designed, two-story, hipped roofed, urban, frame residence of foursquare inspired design and mixed period styling. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Dorchester Improvement Co. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-11)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 171 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1909

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

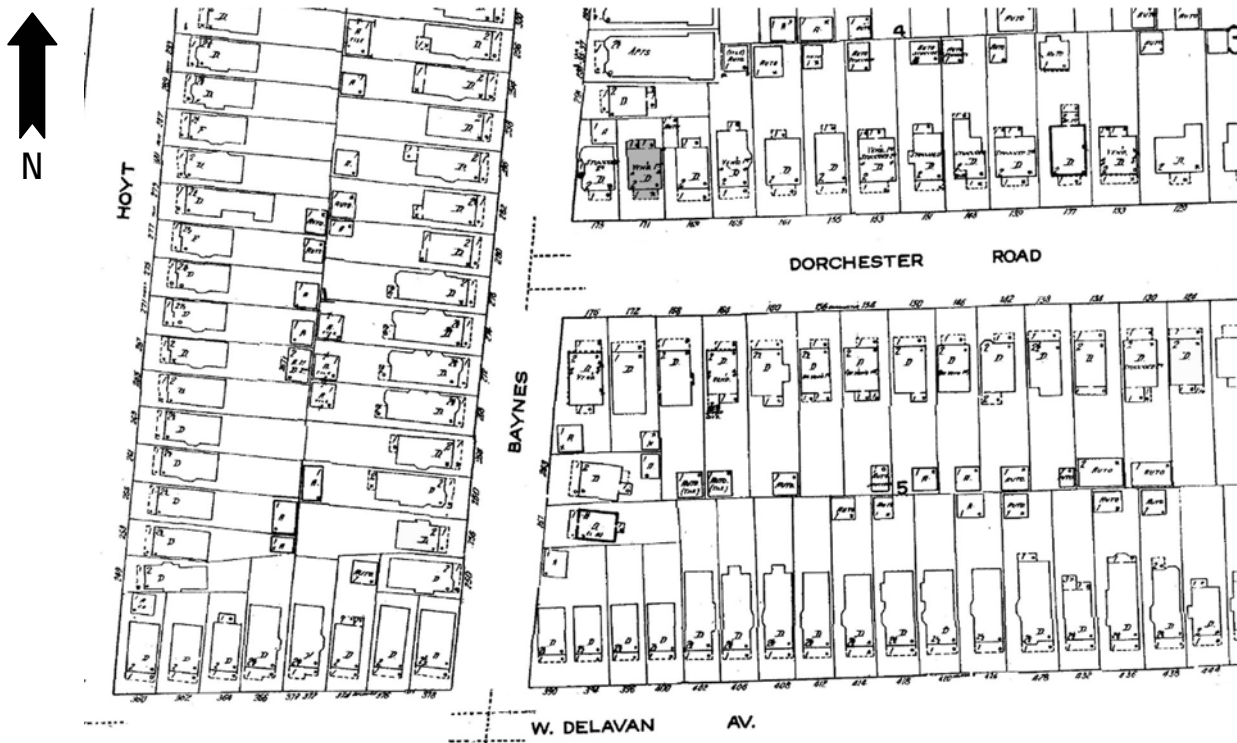
The single family house at 171 Dorchester Road is set on a shortened lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, side gabled, urban residence of mixed Colonial Revival design and period styling. It has a rough shortened rectangular plan. The façade has centered ¾-width, flared hipped roof, open porch with slender ¾-height Ionic columns set on thick brick piers that flow down into the foundation, spindled wood rail, plain frieze, extended eaves, and central railed entry stair. The main entrance is located in the west bay of the façade. A single window sets on the west of the entrance in the extreme side bay. A large window group occupies the east bay. The second floor façade is defined by matching polygonal oriels with triple windowing centered in either side roof slope, centered over either side bay. Roofed and bracketed rectangular oriel with ripple windowing visible on the west elevation smaller roofed bay window with latticed panes further to the front. Side gable ends accented by windowing. Several brick chimneys visible. Exterior fabric is brick on the lower story and wood shingle upper. Fenestration is six-over-one and one-over-one double hung wood sash and foxed. Additional detailing includes extended eaves and exposed rafter tails and modest belt course.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 171 Dorchester Road is significant as a good representative example of a two-and-one-half story, side gabled, urban residence of mixed Colonial Revival design and period styling. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built or Charles G. Hudson. A Contributing building of the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-12)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 172 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1910

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. _____

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 172 Dorchester Road is set on a shortened lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

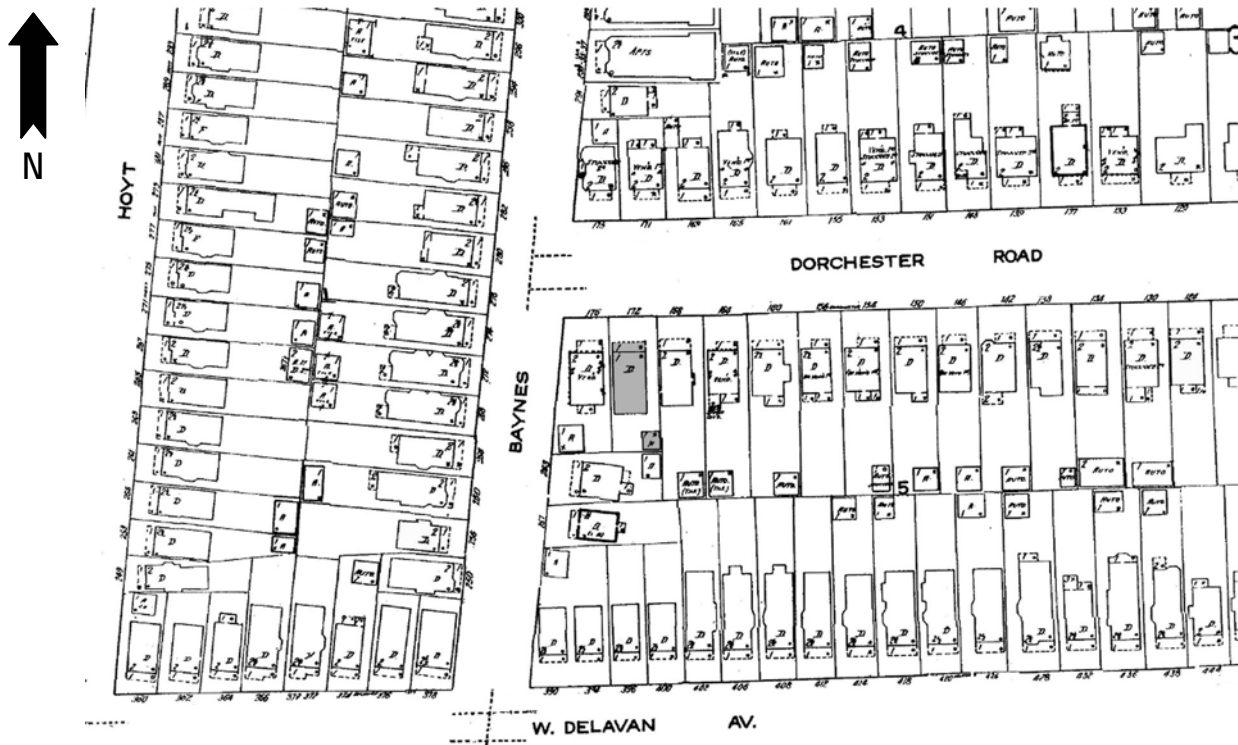
A one-story, hipped roofed, urban Craftsman bungalow residence. It has a shortened rectangular plan and is set on a stone foundation. The façade has full-width, flat roofed, open porch with large squared trimmed elephantine column supports, open wood rail, small frieze, wide extended eaves, and a railed entry stair to the west. The main entrance is located on the façade off center to the west. A paired window sets to the west of the entrance in the extreme side bay. A large ribboned window occupies the east bay. A large hipped roof dormer with a triple window accent and wide eaves with exposed rafter tails sets centered on the front slope. A similar dormer sets on the eastern slope. Tall brick chimney visible to the front on the east slope. Exterior is wood shingle. Fenestration is primarily one-over-one double hung wood sash and fixed with occasional latticework.

A small garage occupies the rear east corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 172 Dorchester Road is significant as a good representative example of a one-story, hipped roofed, urban Craftsman bungalow residence. Styled urban singles of varying Queen Anne influence, such as this, were common housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, on the West Side. This street is one of few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-12)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 175 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1909

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 175 Dorchester Road is set on a shortened corner lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue, at its west end. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

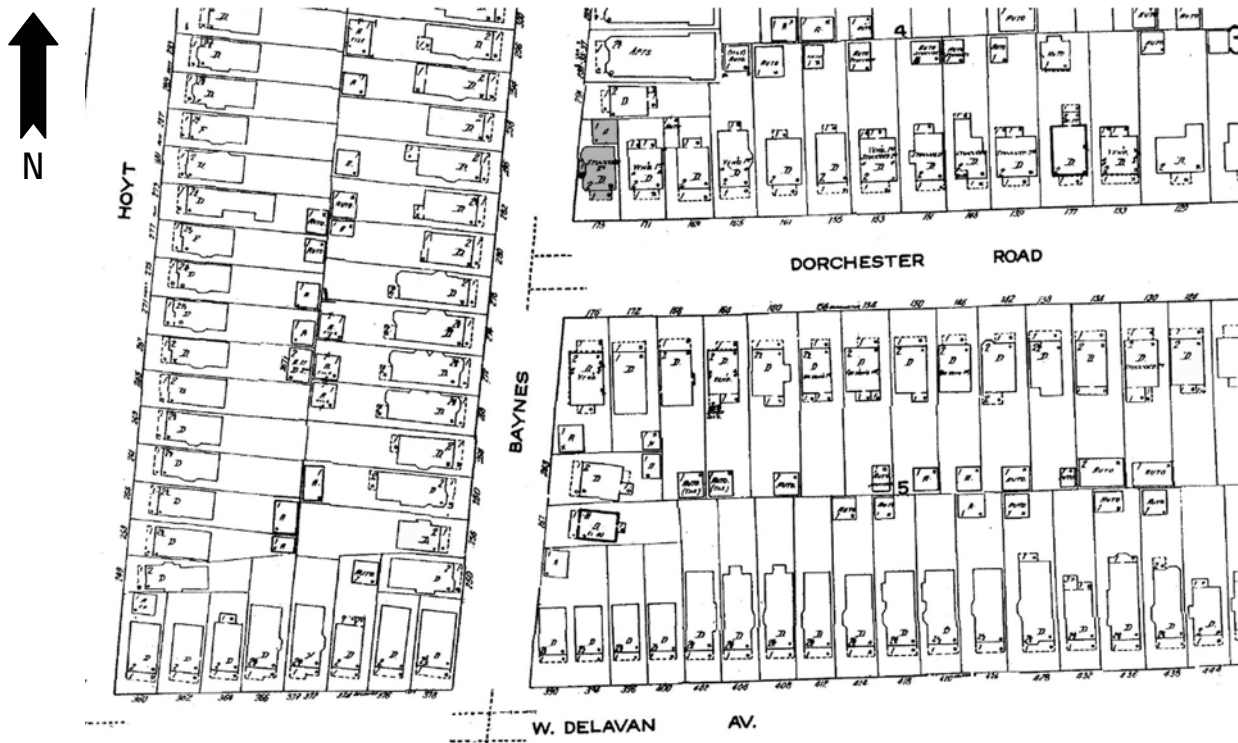
NON-CONTRIBUTING

A two-and-one-half story, side gabled, urban frame residence of Colonial revival influenced design, mixed period styling and Craftsman detail.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 175 Dorchester Road is significant as a **non-contributing** building to the Richmond Avenue – Ashland Avenue Historic District. Built for Charles G. Hudson.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-13)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 176 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1908

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc **Address:** 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. **Email:** cbca@buffnet.net **Date:** 03/2004

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The single family house at 176 Dorchester Road is set on a shortened, slightly trapezoidal corner lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue, at its west end. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

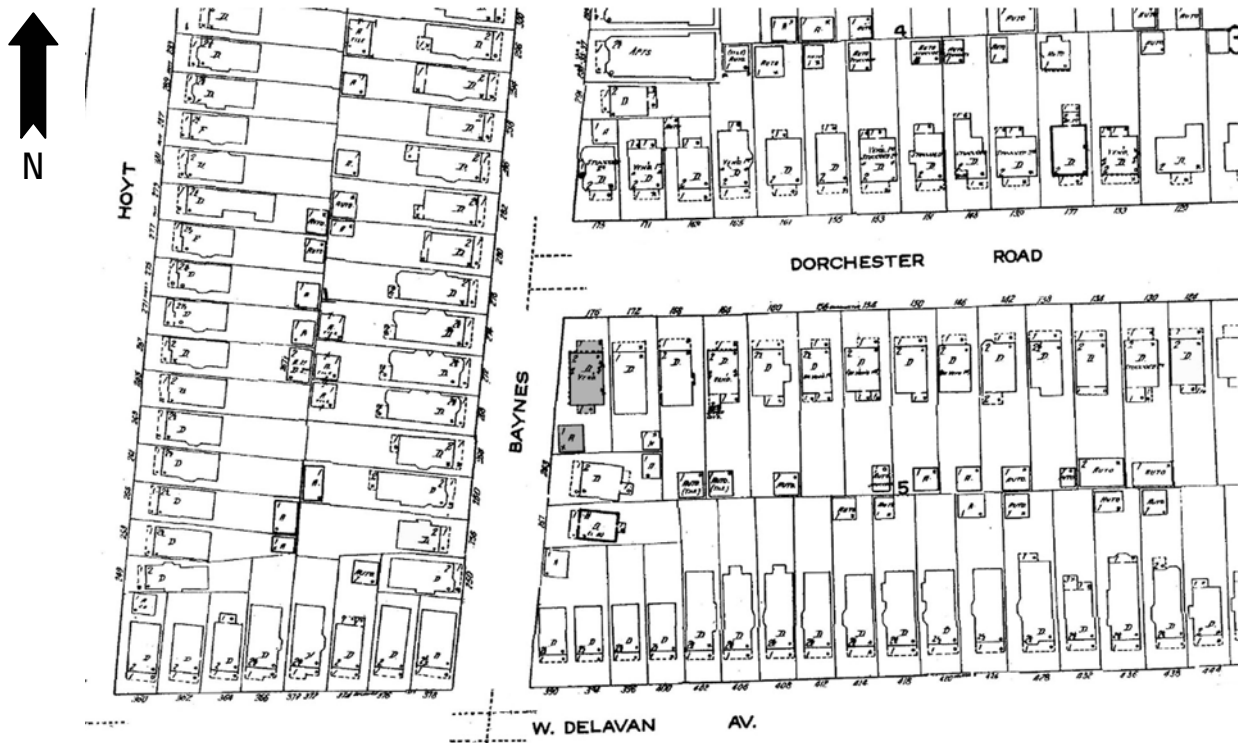
A two-story, flared hipped roofed, urban brick residence of foursquare influenced design and mixed period Colonial inspired styling. It has a rough shortened rectangular plan. The façade has ¾-width, flat roofed, open porch to the east. The main entrance is located in the east bay of the façade, under the porch. Three evenly spaced single windows occupy the west bay – two included under the porch. The second floor façade is defined by simple symmetric single windowing, matching that of the lower story. A flared gabled dormer with a double window accent, verge boards, and exposed rafter tails sets centered on the front slope. A similar dormer sets on the west roof slope. Tall exterior brick chimney to the front on the west elevation. Exterior fabric is brick with wood shingle on the dormers. Fenestration is eight-over-one, six-over-one, four-over-one, and one-over-one double hung wood sash and fixed; all with stone sills. Additional detailing includes wide eaves, large frieze and cornice with dentils and molding, and modest trim.

A garage sets in the rear west corner, fronting Baynes Street.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 176 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban brick residence of foursquare influenced design and mixed period Colonial inspired styling. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Charles G. Hudson. A Contributing building to the Richmond Avenue- Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-13)



