



HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 25 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1905

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 25 Parkdale Avenue is set on a small slightly trapezoidal corner lot, located on the east side of the street, at the southern corner of the Parksdale Avenue – Arnold Street intersection. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the south central section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, frame residence with high Queen Anne styling. It has a rectangular plan and is set on a stone foundation. The façade has a full-width porch with ¾-height fluted Tuscan columns set on wood piers, open wood rail, modest frieze and cornice, and entry stairs in the extremes of the both bays. A main entrance is located in the extreme north bay of the façade. An additional main entrance is located in a recessed niche in the extreme south bay. Two large windows occupy the central section of the lower façade. The second floor façade has a ½-width open porch with modern metal rail, awning supports, and a porch entrance in the north bay. A polygonal oriel occupies the south bay. A two-story slightly protruding, rectangular bay is visible on the south elevation beneath a gabled wall dormer. Exterior wall fabric is wood clapboard. Fenestration is one-over-one double-hung wood sash and fixed. A large Palladian window punctuates the pent enclosed front gable end; smaller matching Palladian window in the gable of the side dormer. A brick chimney rests on the central ridge. Additional architectural detailing include corner pilasters, modest frieze, cornice trim, framing, and lookout rafters.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 25 Parkdale Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence with high Queen Anne styling. More detailed than some, styled doubles and duplexes of Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 357



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-21)





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NYS OFFICE OF PARKS, RECREATION
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P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 33 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1905

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 33 Parkdale Avenue is set on a short lot, located on the east side of the street, on the block between Arnold Street and Breckenridge Street. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the south central section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, frame residence with mixed Queen Anne styling. It has a rectangular plan and is set on a stone foundation. The façade has a ½-width, full-height, tiered, pedimented porch with slender square columns and open wood rail that dominates the north bay. The main entrance is located in the north bay of the façade under the porch. A triple window grouping occupies the south bay. The second floor façade has a porch entrance in the north bay over the entrance, and a projecting polygonal oriel in the south. A paired window punctuates the pent enclosed front gable end. Added metal fire escape on the upper façade. Exterior wall fabric is wood clapboard. Fenestration is one-over-one double-hung wood sash and fixed. Additional architectural details include modest frieze, cornice trim, and framing.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 33 Parkdale Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence with mixed Queen Anne styling. Modestly styled doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 357



PHOTOGRAPH: (Grant-Ferry-Forest: R-24; N-20)





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P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 91 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1895

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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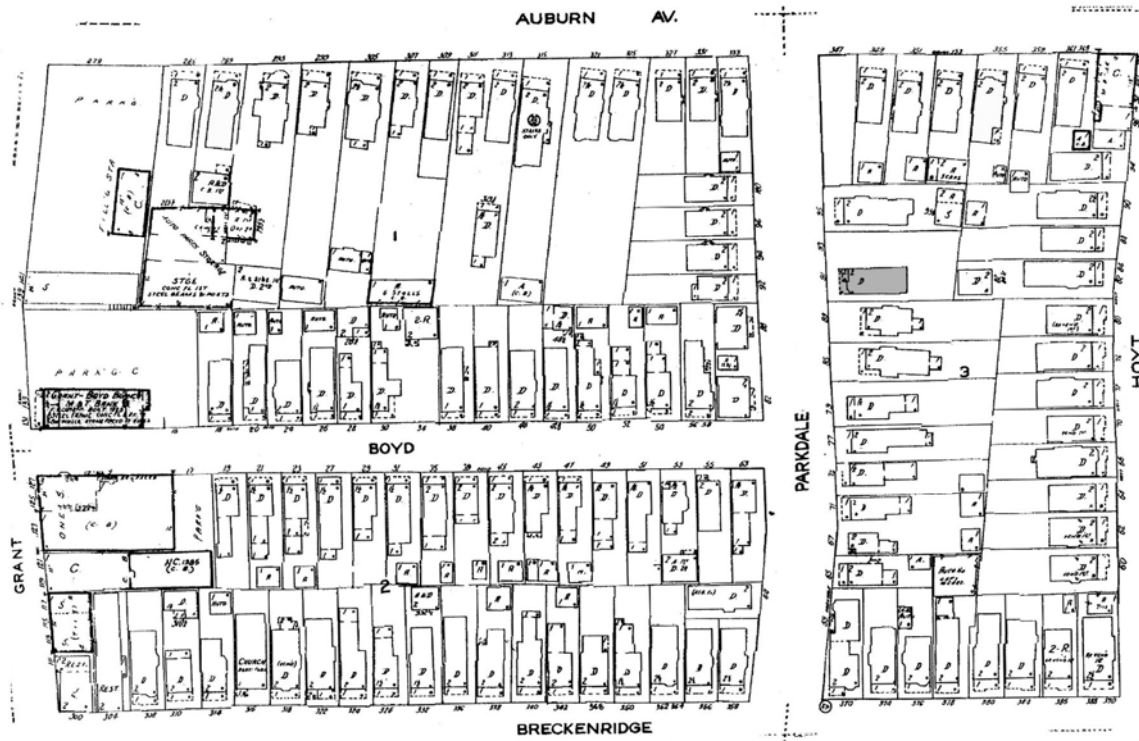
The two-family house at 91 Parkdale Avenue is set on a shortened slightly trapezoidal lot, located on the east side of the street, on the block between Breckenridge Street and Auburn Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the south central section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, frame residence with Queen Anne styling. It has a rectangular plan and is set on a stone foundation. The façade has a full-width shed roof over a ½-width porch in the north bay with modern metal rail and supports and south side stair. Two main entrance doors are located in the north bay of the façade. A two story polygonal bay that continues through the porch roof dominates the south bay. The second floor façade has a ½-width gabled porch with modern metal rail and supports set into the lower porch roof in the north bay. A two story polygonal bay that runs through the porch roof dominates the south bay. Exterior wall fabric is wood clapboard shingle. Fenestration is one-over-one double-hung wood sash and fixed. A paired window punctuates the pent enclosed front gable end. Additional detailing includes modest corner boards, frieze, and trim.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 91 Parkdale Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence with Queen Anne styling. Modestly styled doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth century on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 357



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-19)





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NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 140 Parkdale Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known c. 1894

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

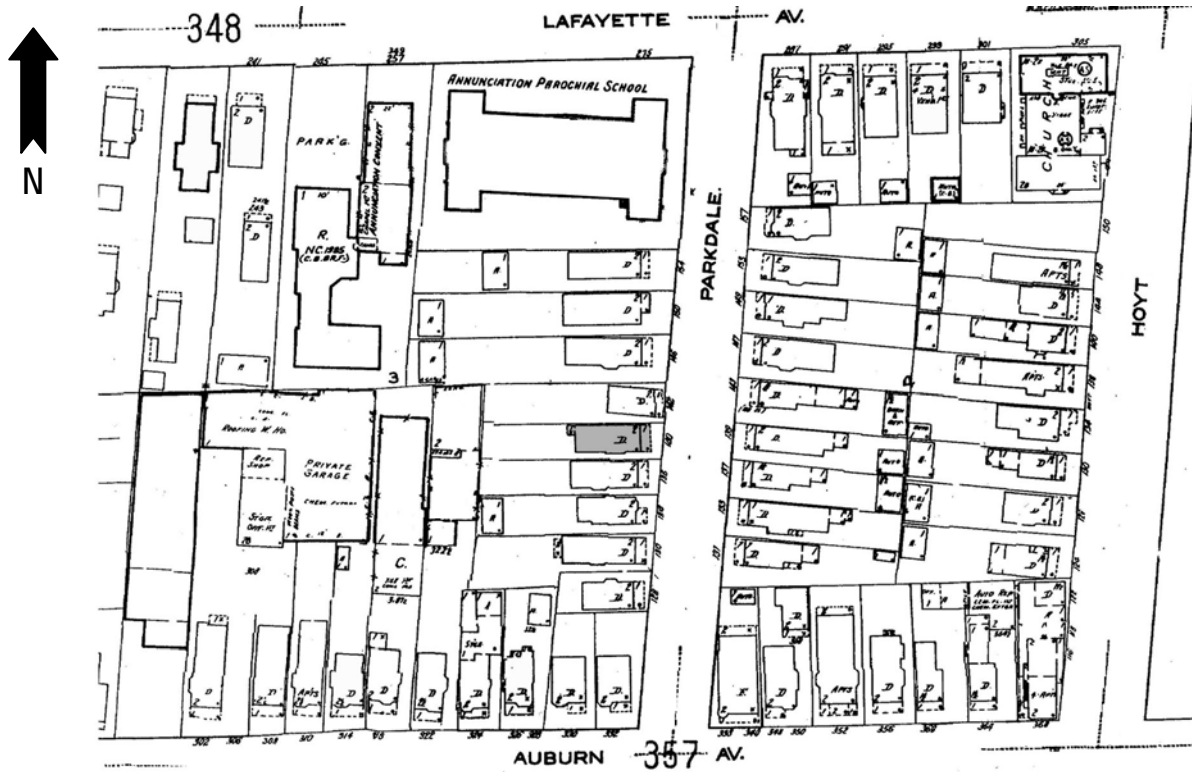
The two-family house at 140 Parkdale Avenue is set on a standard slightly trapezoidal lot, located on the west side of the street, on the block between Auburn Avenue and Lafayette Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the central section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, cross gabled, urban, frame residence with Queen Anne styling. It has a rough rectangular plan. The façade has a full-width, hipped roof porch with metal rail and supports, and a 1/3-width pediment over the central entry stair. Main entrances are located in the extreme north and south bays of the façade. A large window occupies the central section of the lower façade. The second floor façade has a polygonal oriel in the south bay flush beneath the slightly projecting front gable end. A two-story slightly protruding, rectangular bay is visible on the south elevation beneath the side cross gable. Exterior wall fabrics are clapboard on the main block with decorative wood shingle. Fenestration is one-over-one double-hung wood sash and fixed. A triple window grouping punctuates the pent enclosed front gable peak. Brick chimney visible on the ridge of the cross gable. Additional detailing includes modest corner boards, frieze, framing, and exposed rafter tails.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 140 Parkdale Avenue is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame residence with Queen Anne styling. Modestly styled doubles and duplexes of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth century on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 349



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-18)





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NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 150 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1920

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

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The two-family house at 150 Parkdale Avenue is set on a long lot, located on the west side of the street, on the block between Auburn Avenue and Lafayette Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the central section of the Grant-Ferry-Forest neighborhood.

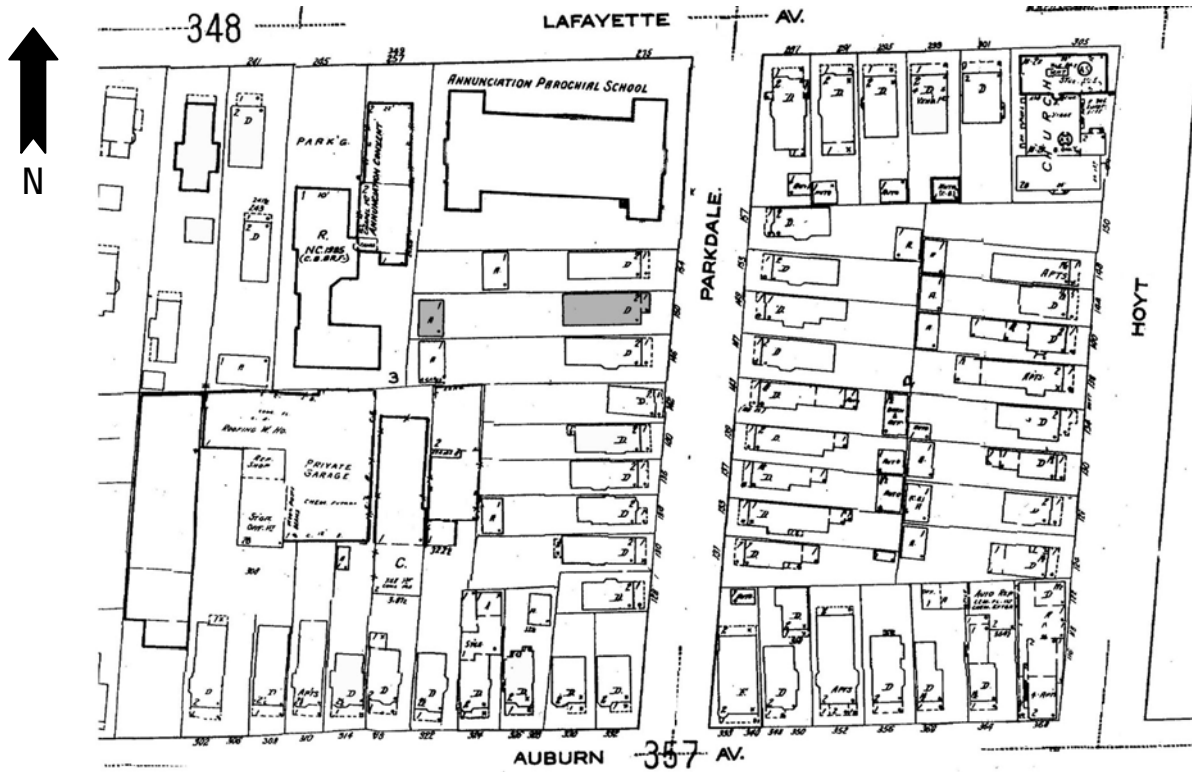
A two-and-one-half story, front gabled, urban, residence of mixed styling. It has a rectangular plan and is set on a brick foundation. The façade has a 2/3-width, enclosed brick living porch in the north, with a triple grouping of full-height multi-paned casement windows and central door opening to a small wood railed porch, ornamented brick piers, frieze, and wide eaves. The hooded main entrance is located in the remaining south bay of the façade with an open entry porch and side stair. The second floor façade has a 2/3-width awninged porch in the north, with a large sidelighted entrance; single window sets in the south bay. A paired window punctuates the modestly half timbered front gable peak. Exterior wall fabric is stucco with contrasting colors on the upper and lower stories. Fenestration is one-over-one double-hung wood sash and fixed. Additional architectural details include modest frieze and cornice, verge boards, and framing.

A garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 150 Parkdale Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, residence of mixed styling. Modestly styled doubles of the prevailing trend, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 349



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-17)





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OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 154 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1920

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 154 Parkdale Avenue is set on a standard lot, located on the west side of the street, on the block between Auburn Avenue and Lafayette Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the central section of the Grant-Ferry-Forest neighborhood.

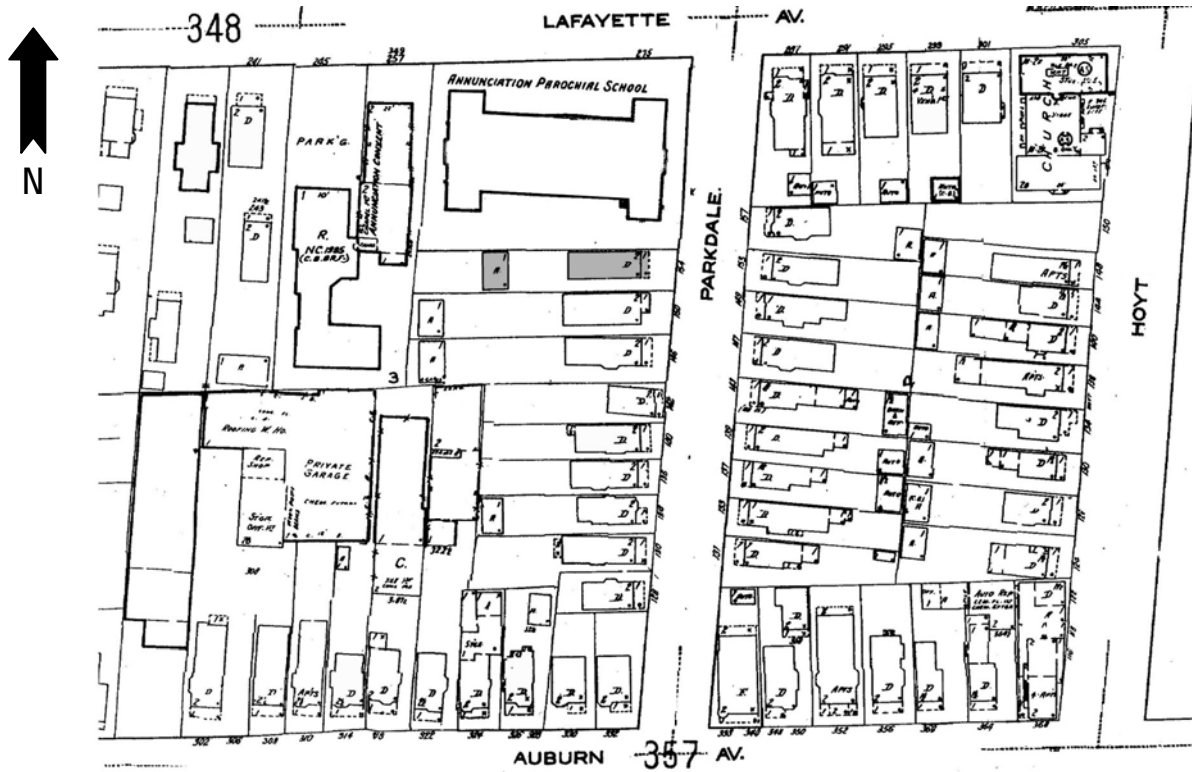
A two-story, hipped roof, urban, frame residence of mixed Queen Anne period influences. It has a rectangular plan and is set on a rusticated concrete block foundation. The façade has a full-width, porch with trimmed square column, solid wood rail, flat frieze, and entry stair in the south. The main entrance is located in the south bay of the façade within a shallow, enclosed, rectangular vestibule. A large triple window group with modest framing occupies the north bay. The second floor façade has an open porch with modern metal rail and awning supports, a porch entrance in the south, and a polygonal oriel in the north flush beneath the eave. A hipped roof dormer with a triple window grouping dominates the front roof slope. Exterior wall fabric is wood clapboard. Fenestration is one-over-one double-hung wood sash and fixed. Additional detailing includes small corner boards, frieze, and trim.

A garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 154 Parkdale Avenue is significant as a good representative example of a two-story, hipped roof, urban, frame residence of mixed Queen Anne period influences. Though front and cross gabled variations are more prevalent, modestly styled doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 349



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-16)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 196 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1890

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input checked="" type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 196 Parkdale Avenue is set on a standard lot, located on the west side of the street, on the block between Lafayette Avenue and West Delavan Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the central section of the Grant-Ferry-Forest neighborhood.

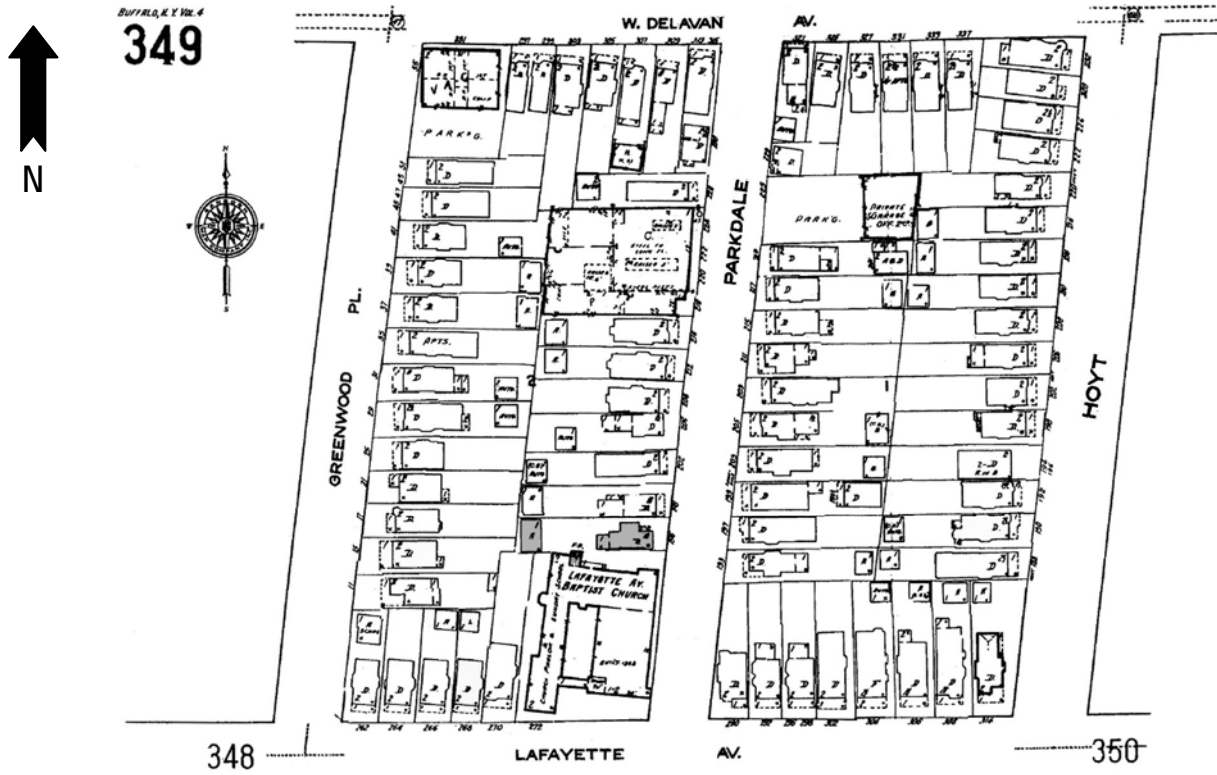
A two-story, cross gabled, vernacular, urban frame folk residence. It has an irregular, slightly T shaped plan and is set on a rusticated concrete block foundation. The façade has a full-width, flat roofed porch that extends into the north ell, with ¾-height wood posts set on solid shingled rail that continues over the foundation, and an entry stair in the extreme north. The main entrance is located under the porch within an enclosed vestibule in the north ell. A large multi-paned window is centered on the lower façade. The second floor façade is distinguished by simple, even fenestration. Upper story of the cross gabled north wing projects over the lower level. Exterior wall fabric is wood shingle. Fenestration is one-over-one double-hung wood sash and fixed. A brick chimney rests on the forward ridge.

A garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 196 Parkdale Avenue is significant as a good representative example of a two-story, cross gabled, vernacular, urban frame folk residence. Vernacular structures embellished with modest detailing and varying additions were a practical alternative to the more high-styled homes of the time. Houses, such as this, were common amongst early single-family residences of more modest means, though, less frequent in this neighborhood in which urban singles and doubles of Queen Anne style abound.

MAP: Sanborn Map (Revised 1986) – Plate 349



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-15)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 211 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1895

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input checked="" type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

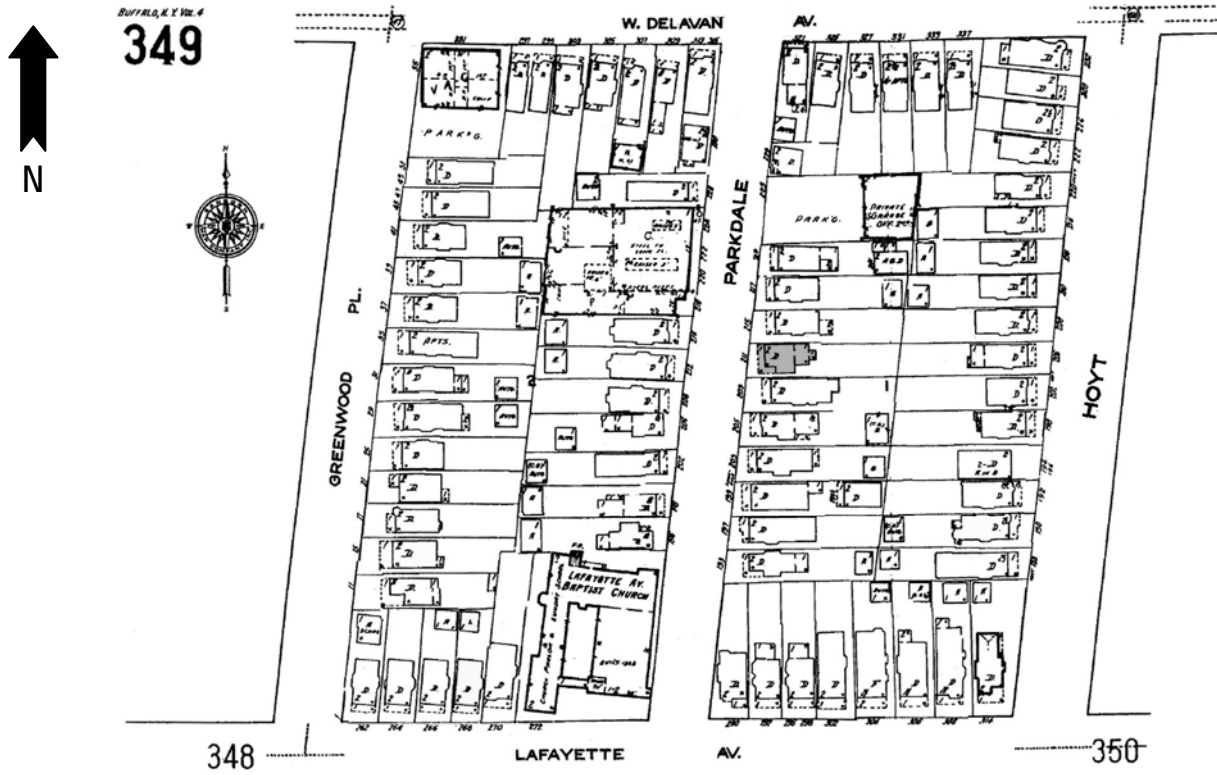
The single-family house at 211 Parkdale Avenue is set on a standard lot, located on the east side of the street, on the block between Lafayette Avenue and West Delavan Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the central section of the Grant-Ferry-Forest neighborhood.

A two-story, front gabled, urban, frame, vernacular, Victorian folk residence with mixed influences and detailing. It has an irregular plan with slightly elled main block and narrowed one-story rear block. The foundation is poured concrete. The façade has a full-width, altered shed roof porch that wraps around the southern corner into the slight ell, with metal supports set on brick piers and a ¼-width pediment in the south façade bay. The main entrance is located under the porch in the south ell. The façade is distinguished by symmetric tired fenestration with notable enframements. A small window with matching enframement punctuates the gable peak. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash. Additional detailing includes modest corner boards and raked molding with dentils.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 211 Parkdale Avenue is significant as a good representative example of a two-story, front gabled, urban, frame, vernacular, Victorian folk residence with mixed influences and detailing. Such vernacular folk structures often embellished with modest detailing of the prevailing architectural style and varying additions were a practical alternative to the more high-styled homes of the time. A design common amongst single-family residences of more modest means, though, less frequent in this neighborhood in which urban singles and doubles of Queen Anne style abound.

MAP: Sanborn Map (Revised 1986) – Plate 349



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-14)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 265 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1905

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

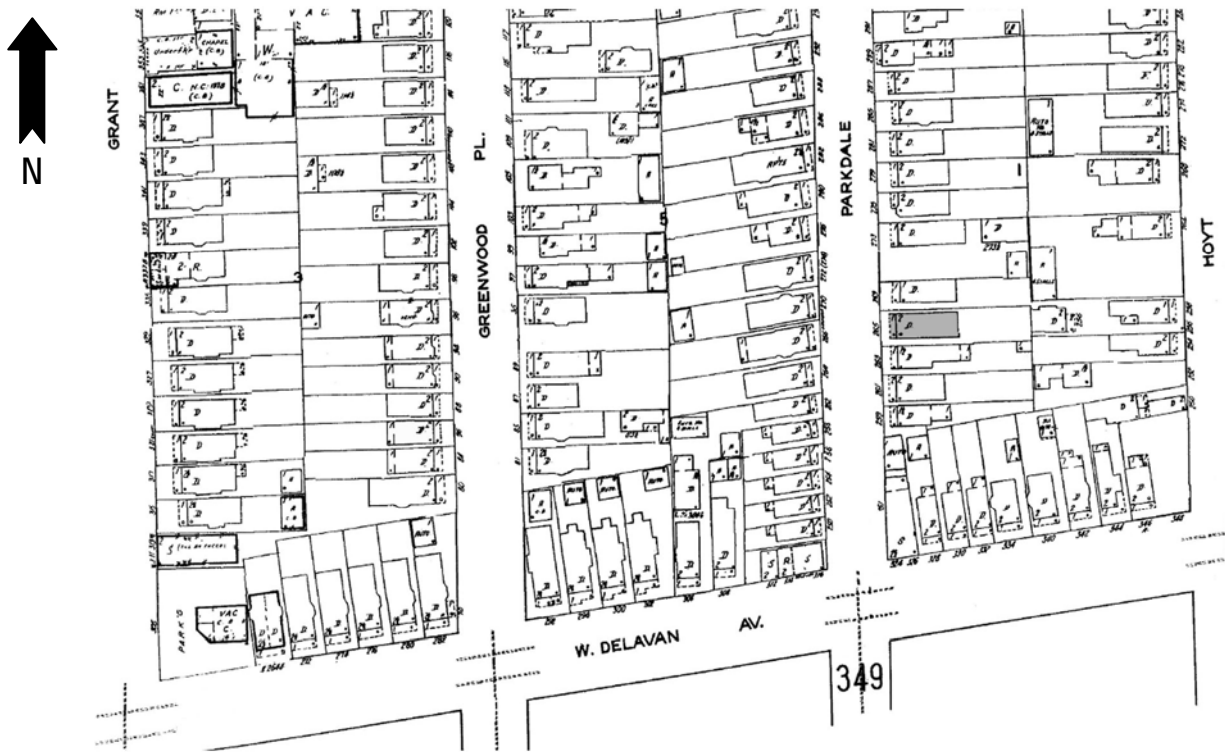
The two-family house at 265 Parkdale Avenue is set on a standard lot, located on the east side of the street, on the block between West Delevan Avenue and Potomac Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the central section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, vernacular frame residence with Queen Anne styling. It has a rectangular plan. The façade has a full-width porch with solid sided square columns and rail that extends over the foundation, small frieze space, and an entry stair in the south. The main entrance is located in the south bay of the façade. Two evenly spaced windows occupy the remainder of the lower façade. The second floor façade has an open porch with wood posts and open wood rail, metal awning supports, a porch entrance in the south bay over the entrance, and a polygonal oriel in the north. A paired window grouping punctuates the pent enclosed front gable end. Exterior wall fabrics are wood clapboard. Fenestration is one-over-one and six-over-one double-hung wood sash and fixed. Additional detailing includes modest corner boards, frieze and cornice trim, and framing.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 265 Parkdale Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, vernacular frame residence with Queen Anne styling. Modestly styled doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 342



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-13)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 286 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1895

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

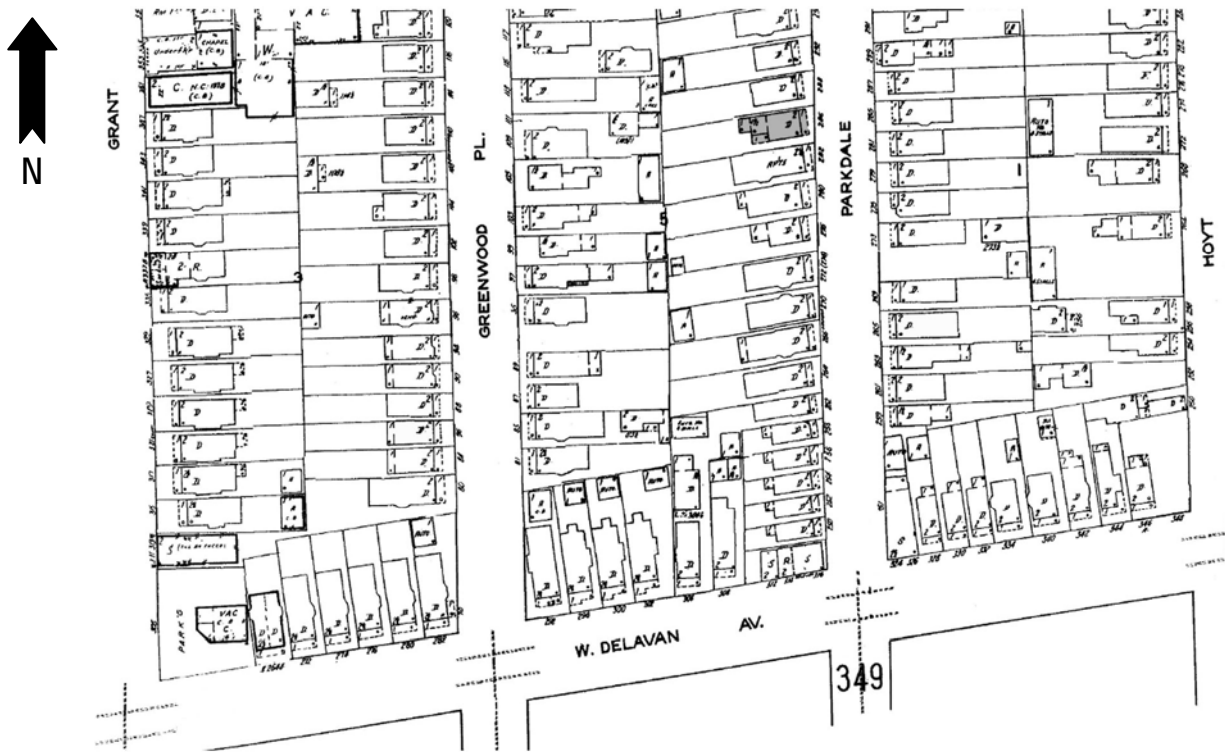
The single-family house at 286 Parkdale Avenue is set on a standard slightly diagonal lot, located on the west side of the street, on the block between West Delevan Avenue and Potomac Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the central section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, frame, vernacular, Victorian residence with Queen Anne influence and detail. It has a slight ell plan with main block and narrowed rear block. The façade has a full-width, shed roof porch with paired ¾-height slender column supports set of solid decoratively shingled rail, small frieze, and ½-width pediment over the entry stair in the north bay. The main entrance is located in the north bay. A paired window occupies the south bay. The second floor façade is distinguished by simple symmetric fenestration. A paired window punctuates the gable peak. Exterior wall fabric is clapboard with decorative wood shingle in the gable end. Fenestration is primarily one-over-one double-hung wood sash; small diamond oculus visible on the north elevation. Additional detailing includes small corner boards, trim, and framing.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 286 Parkdale Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame, vernacular, Victorian residence with Queen Anne influence and detail. Unique mixed style, but over all of a vein characteristic of single-family residences of the era and the neighborhood.

MAP: Sanborn Map (Revised 1986) – Plate 342



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-12)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 296 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1895

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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The two-family house at 296 Parkdale Avenue is set on a standard slightly diagonal lot, located on the west side of the street, on the block between West Delevan Avenue and Potomac Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the central section of the Grant-Ferry-Forest neighborhood.

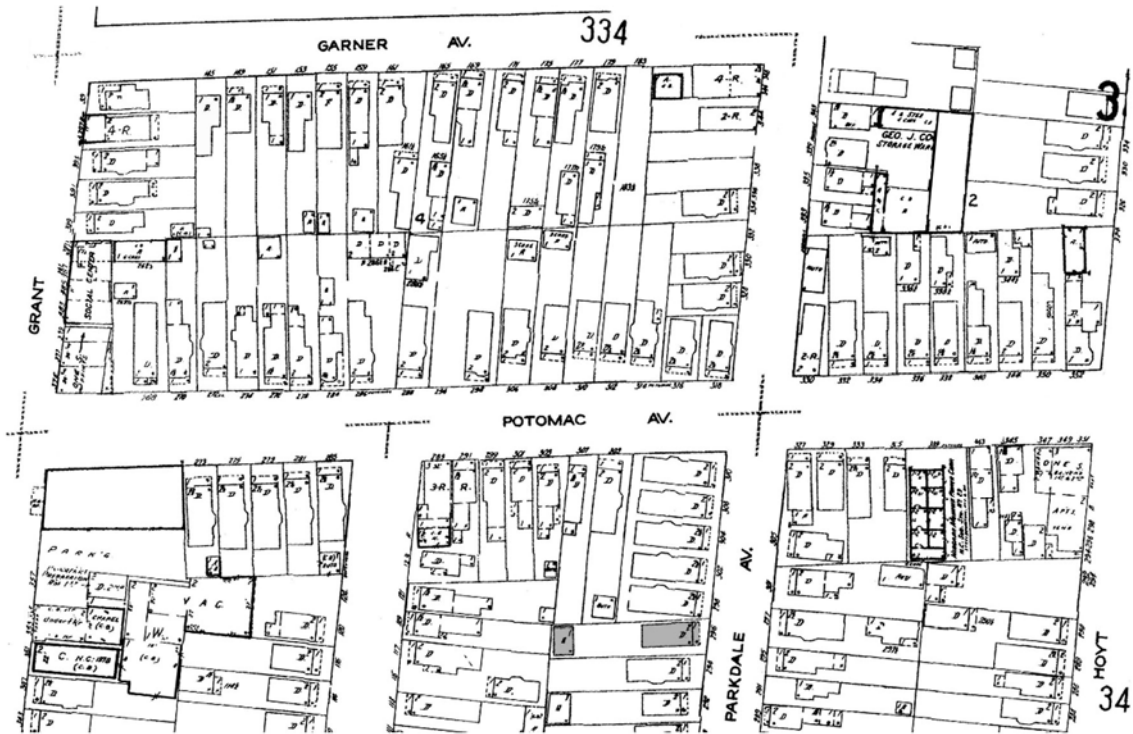
A two-and-one-half story, front gabled, urban, frame residence with vernacular Queen Anne styling. It has a rectangular plan and is set on a stone foundation. The façade has a full-width porch with square columns, open wood rail, flat frieze, and entry stair in the north bay. The main entrance is located in the north bay of the façade. A large triple window bay occupies the south bay. The second floor façade has an open porch with modern metal rail and awning supports, a porch entrance in the north bay, and a polygonal oriel in the south. Exterior wall fabrics are clapboard and wood shingle. Fenestration is one-over-one double-hung wood sash and fixed. A window grouping punctuates the front gable peak. Additional architectural details include corner pilasters, modest frieze, and cornice trim.

A garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 296 Parkdale Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence with vernacular Queen Anne styling. Modestly styled doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth century on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 342



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-11)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 301 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1890

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input checked="" type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
-------------	---	--------------------------------	---	---

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 301 Parkdale Avenue is set on a trapezoidal lot, located on the east side of the street, on the block between West Delevan Avenue and Potomac Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the central section of the Grant-Ferry-Forest neighborhood.

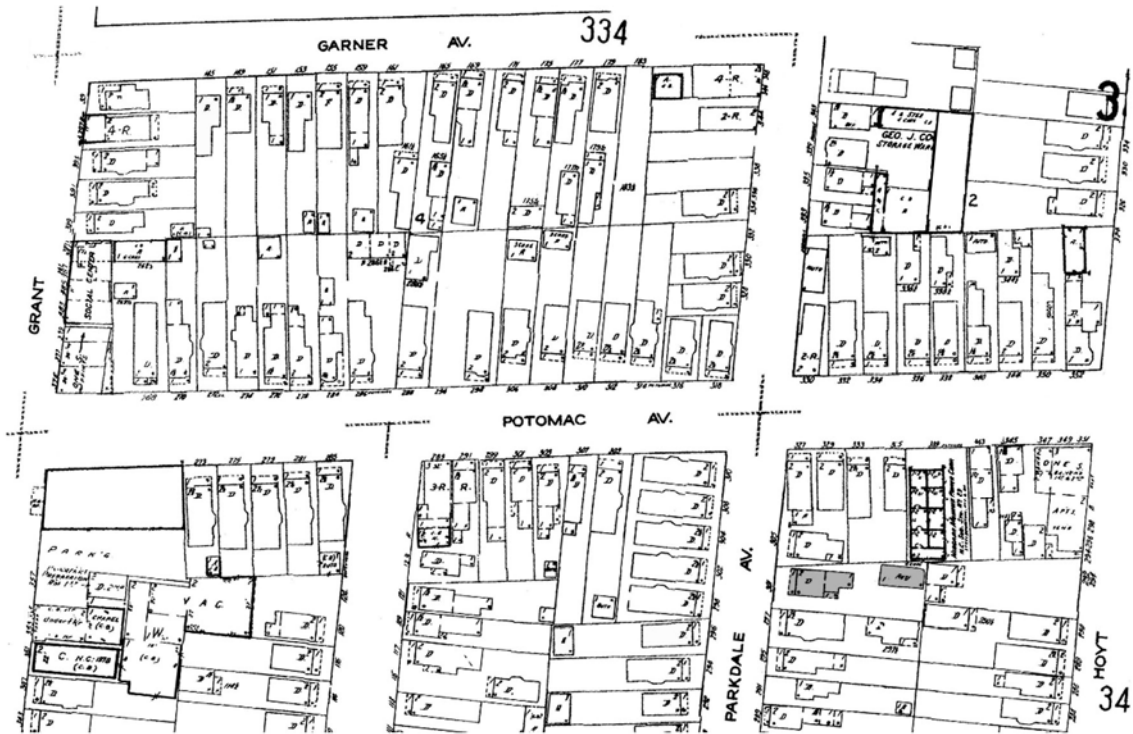
A two-and-one-half story, urban, vernacular, frame residence of mixed Colonial influences, with side gabled roof and lower front gambrel that extends over the upper story facade. It has a slight ell plan with squared main block and rear, one-story, ell-shaped block. It is set on a concrete foundation. The facade has a full-width, shed roof porch with square columns, spindled wood rail, and entry stair in the north. The main entrance is located in the north bay of the facade under the porch. Second floor facade dominated by gambrel accented with simple symmetric fenestration. Exterior wall fabrics are wood clapboard shingle. Fenestration is one-over-one double-hung wood sash and fixed. A brick chimney rests on the central ridge. Additional detailing includes modest corner boards, framing, and trim.

A garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 301 Parkdale Avenue is significant as a good representative example of a two-and-one-half story, urban, vernacular, frame residence of mixed Colonial influences, with side gabled roof and lower front gambrel that extends over the upper story facade. Notable roof line and mixed Colonial styling; both less uncommon in this West Side neighborhood in which singles and urban doubles of Queen Anne style abound.

MAP: Sanborn Map (Revised 1986) – Plate 342



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-10)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 358 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1890

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

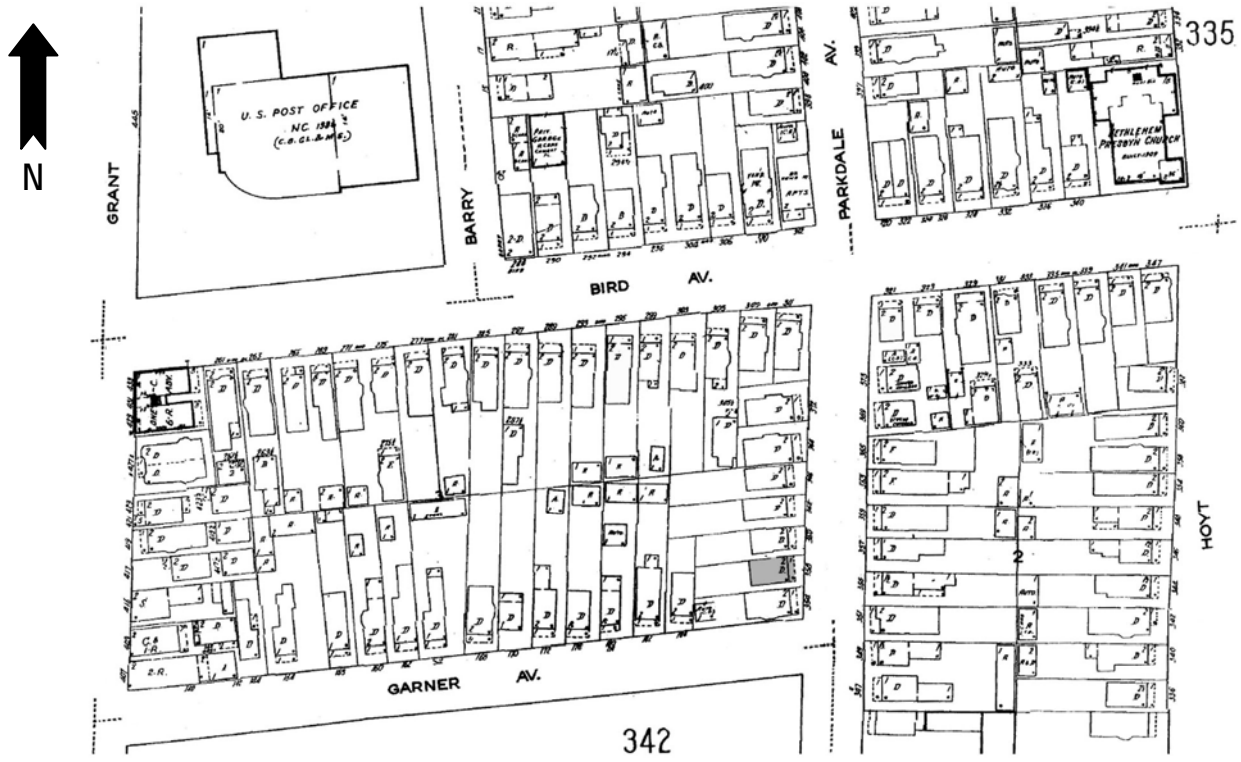
The single-family house at 358 Parkdale Avenue is set on a shortened slightly diagonal lot, located on the west side of the street, on the block between Garner Avenue and Bird Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the north central section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, side gabled, urban, frame residence of a mixed Colonial Revival influenced style. It has a squared plan and is set on a stone foundation. The façade has a full-width, hipped roof, enclosed porch with solid clapboard base below continuous windowing. The main entrance is located on the façade of the porch off center to the south, with an entry stair. The second floor façade has a polygonal oriel in the north bay that continues upward to punctuate the roofline with a turreted dormer accented with small Queen Anne windows. Exterior wall fabric is clapboard with decorative wood shingle on the dormer. Fenestration is one-over-one double-hung wood sash and fixed.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 358 Parkdale Avenue is significant as a good representative example of a two-and-one-half story, side gabled, urban, frame residence of a mixed Colonial Revival influenced style. Modestly styled urban singles and doubles of varying Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 334



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-9)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 362 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1890

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

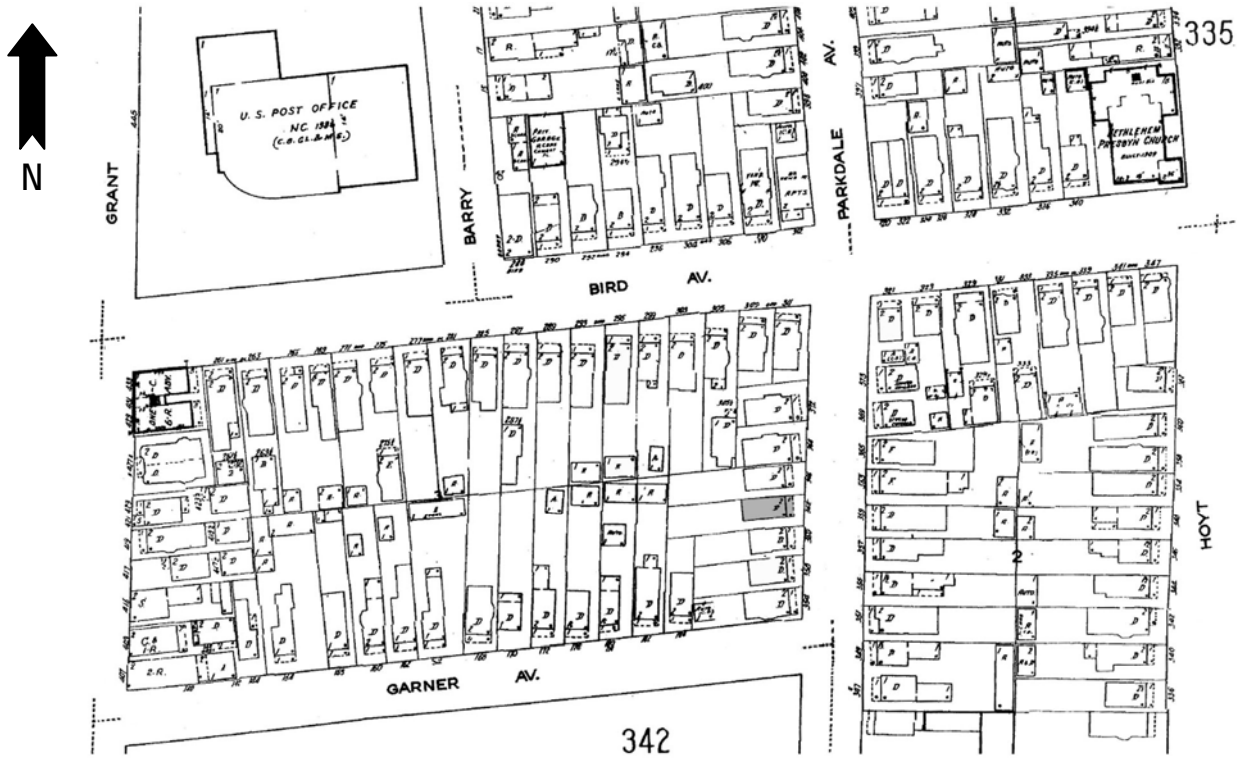
The single-family house at 362 Parkdale Avenue is set on a standard slightly diagonal lot, located on the west side of the street, on the block between Garner Avenue and Bird Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the north central section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, frame residence of Queen Anne style and detail. It has a rectangular plan. The façade has a full-width, shed roof porch with bracketed turned posts, spindled wood rail, modest frieze, and 1/3-width pediment over an entry stair in the south. The main entrance is located in the south bay of the façade under the porch within an enclosed rectangular vestibule. A large shuttered window occupies the remainder of the lower façade. The second floor façade is dominated by a polygonal oriel with a front gabled roof. Exterior wall fabric is clapboard with decorative wood shingle in the gable ends. Fenestration is one-over-one double-hung wood sash and fixed. Small multi-paned windows punctuate both pent enclosed forward gable ends. Additional detailing includes corner boards, modest frieze and cornice trim, and framing.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 362 Parkdale Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of Queen Anne style and detail. A modest Queen Anne styled design common amongst single-family residences of the era in the Grant-Ferry-Forest neighborhood.

MAP: Sanborn Map (Revised 1986) – Plate 334



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-8)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 363 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1905

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 363 Parkdale Avenue is set on a standard slightly diagonal lot, located on the east side of the street, at the north end of the block between Potomac Avenue and Bird Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the north central section of the Grant-Ferry-Forest neighborhood.

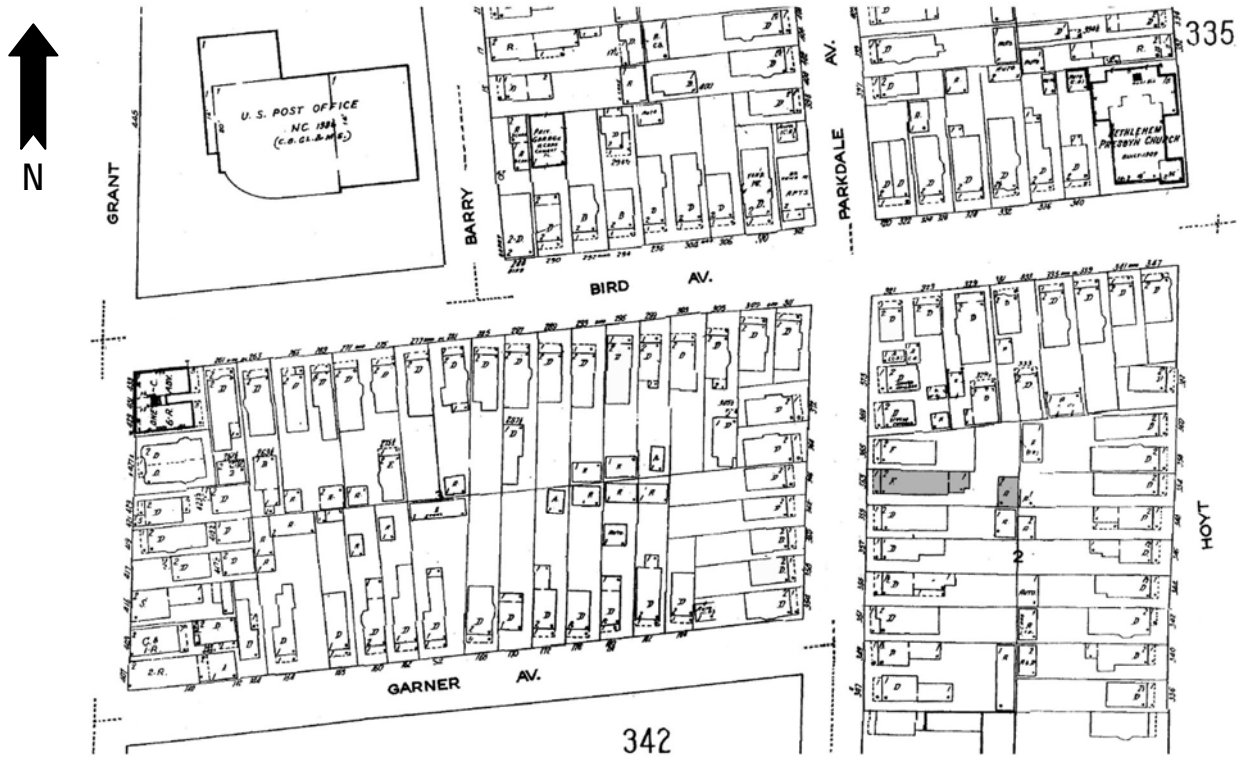
A two-and-one-half story, front gabled, urban, vernacular frame residence with Queen Anne styling. It has a rough rectangular plan with rear extension and is set on a stone foundation. The façade has a full-width porch with square columns, solid wood rail, small frieze, and an entry stair in the north bay. The main entrance is located in the north bay of the façade. A triple window grouping occupies the south bay. The second floor façade has an open porch with modern metal rail and awning supports, a porch entrance in the north, and a triple window grouping in the south over the lower window. Exterior wall fabric is clapboard with decorative wood shingle in the gable end. Fenestration is one-over-one double-hung wood sash and fixed. A paired window with latticed panes punctuates the pent enclosed front gable end. A brick chimney rests on the center ridge. Additional architectural details include modest corner boards, frieze, and trim.

A garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 363 Parkdale Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, vernacular frame residence with Queen Anne styling. Modestly styled doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 334



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-7)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 369 Parkdale Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known George W. Gies, blder Date of construction, if known 1918

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco and stone aggregate	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 369 Parkdale Avenue is set on a shortened lot, located on the east side of the street, at the north end of the block between Potomac Avenue and Bird Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the north central section of the Grant-Ferry-Forest neighborhood.

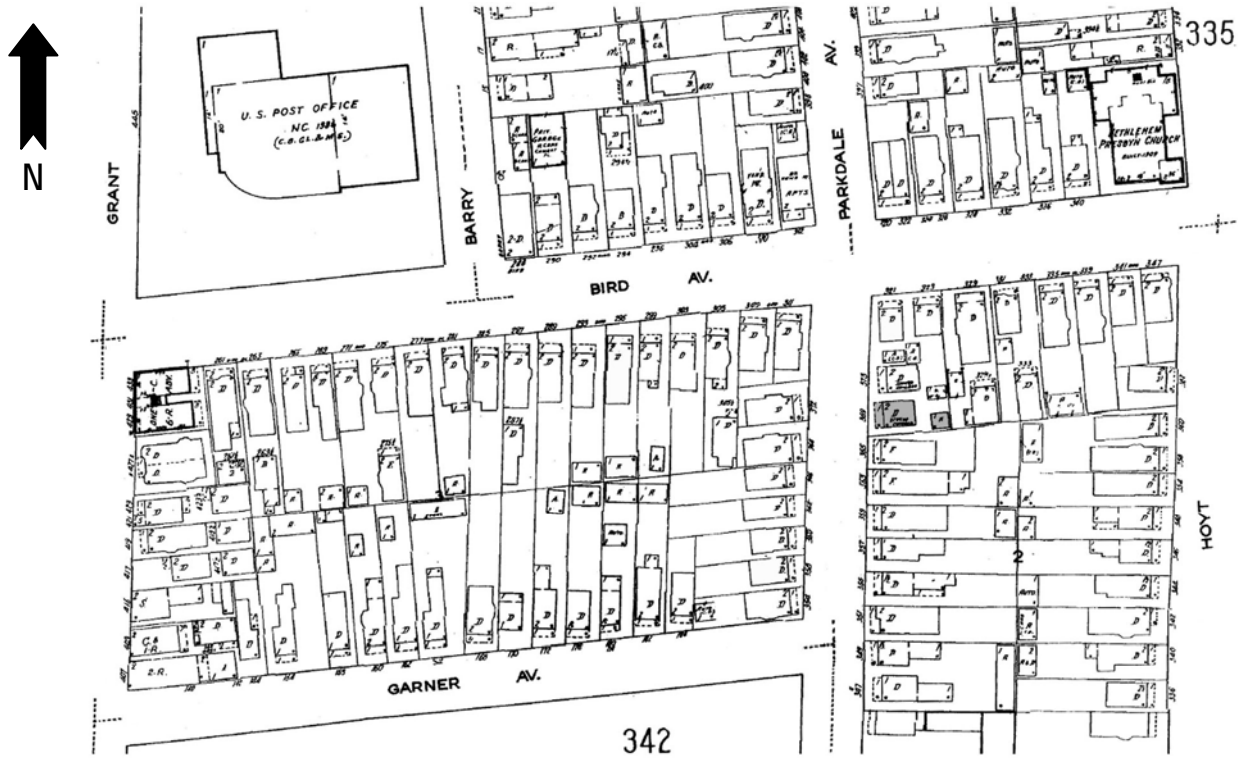
A two-story, front gabled, urban, vernacular residence of unique mixed styling. It has a squared plan and is set on a brick foundation. The façade has a centered 7/8-width, hipped roof porch with ornamented brick columns, open wood rail, wide overhanging eaves, and an entry stair on the south side. The main entrance is located in the south bay of the façade. A triple window grouping occupies the north bay. The second floor façade is distinguished by simple symmetric fenestration. Exterior wall fabric is stucco with stone aggregate on the modestly half timbered gable peak. Fenestration is one-over-one double-hung wood sash and fixed. Additional architectural details include modest belt course, verge boards, and framing.

A garage occupies the rear south corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 369 Parkdale Avenue is significant as a good representative example of a two-story, front gabled, urban, vernacular residence with stucco exterior and unique mixed styling. Built for builder George W. Gies. Urban vernacular structures embellished with modest detailing and varying additions, such as this, were fairly common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side

MAP: Sanborn Map (Revised 1986) – Plate 334



PHOTOGRAPH: (Grant-Ferry-Forest: R-17; N-25)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 372 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1905

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
-------------	---	---	--	---

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

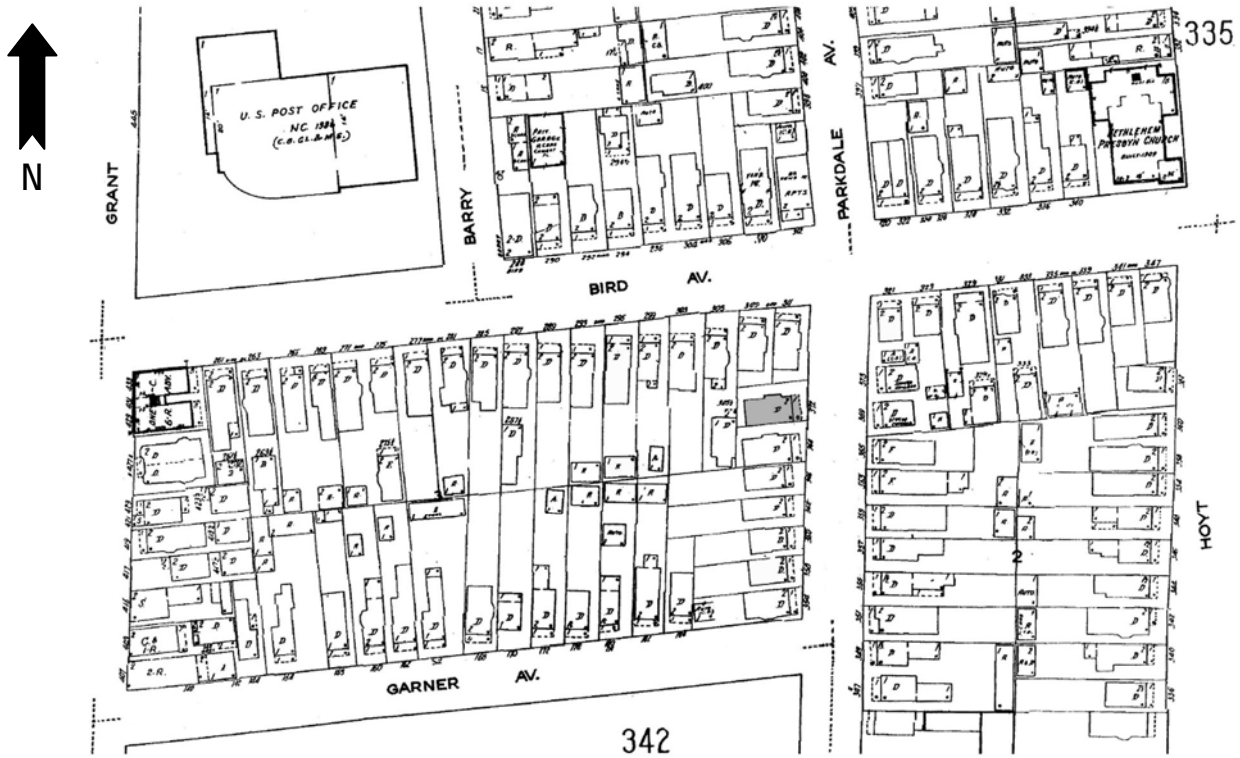
The two-family house at 372 Parkdale Avenue is set on a shortened lot, located on the west side of the street, at the north end of the block between Garner Avenue and Bird Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the north central section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, vernacular frame residence with Queen Anne styling. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width porch with brick foundation, square columns, solid wood rail, small frieze, and an entry stair in the south bay. The sidelighted main entrance is located in the south bay of the façade. A triple window grouping occupies the north bay. The second floor façade has an open porch with modern metal rail, a porch entrance in the south, and a polygonal bay in the north. Exterior wall fabrics are wood clapboard. Fenestration is one-over-one double-hung wood sash and fixed. A small triple window punctuates the pent enclosed front gable end. A brick chimney rests on the center ridge. Additional architectural details include modest corner boards, frieze, and trim.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 372 Parkdale Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, vernacular frame residence with Queen Anne styling. Modestly styled doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 334



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-6)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 373 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known George W. Gies, bldr Date of construction, if known 1918

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco and stone aggregate

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 373 Parkdale Avenue is set on a shortened lot, located on the east side of the street, at the north end of the block between Potomac Avenue and Bird Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the north central section of the Grant-Ferry-Forest neighborhood.

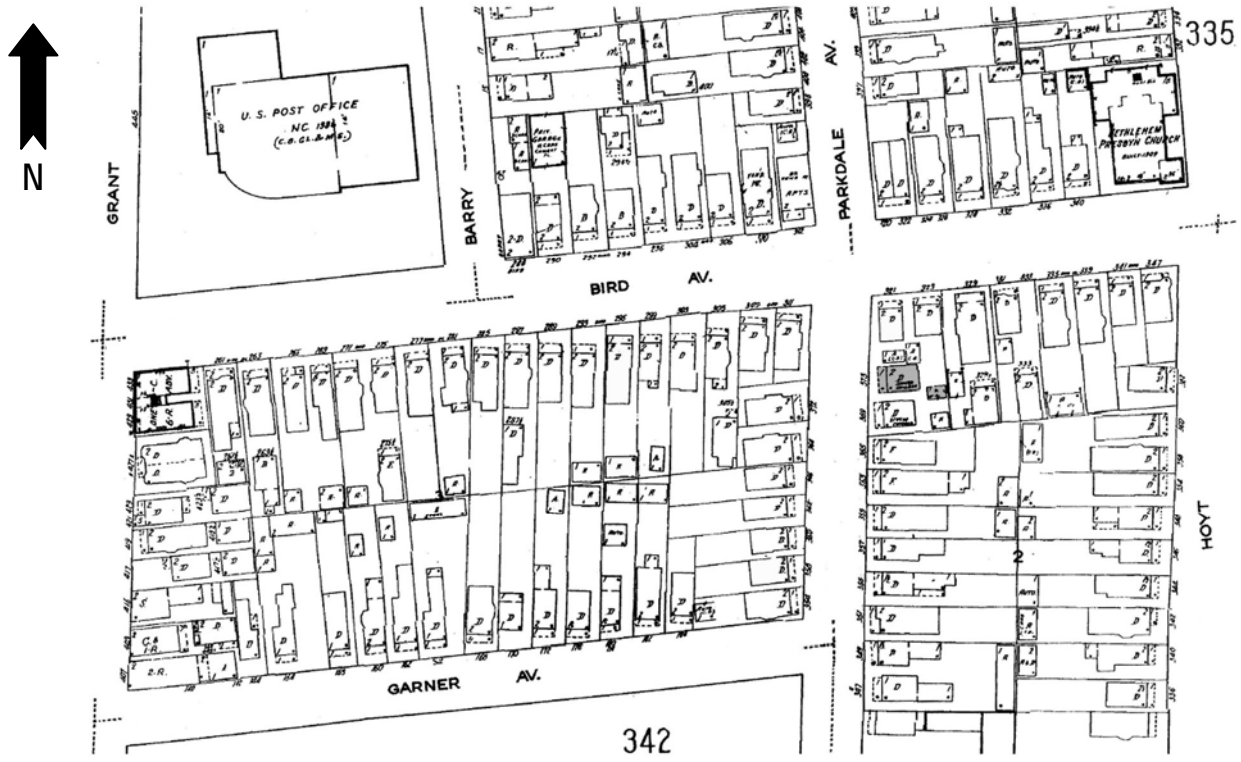
A two-story, front gabled, urban, vernacular residence of unique mixed styling. It has a squared plan and is set on a brick foundation. The façade has a centered 7/8-width, hipped roof porch with ornamented brick columns, open wood rail, wide overhanging eaves, and an entry stair on the south side. The main entrance is located to the south bay of the façade. A triple window grouping occupies the north bay. The second floor façade is distinguished by simple symmetric fenestration. Modestly half timbered front gable peak. Exterior wall fabric is stucco and stone aggregate. Fenestration is one-over-one double-hung wood sash and fixed. Brick chimney visible on central ridge. Additional architectural details include modest belt course, verge boards, and framing.

A garage occupies the rear south corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 373 Parkdale Avenue is significant as a good representative example of a two-story, front gabled, urban, vernacular residence of unique mixed styling. Built for builder George W. Gies. Urban vernacular structures embellished with modest detailing and varying additions, such as this, were fairly common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 334



PHOTOGRAPH: (Grant-Ferry-Forest: R-17; N-24)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 427 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1905

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input checked="" type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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The two-family house at 427 Parkdale Avenue is set on a standard lot, located on the east side of the street, toward the north end of the street on the block between Bird Avenue and Forest Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the north central section of the Grant-Ferry-Forest neighborhood.

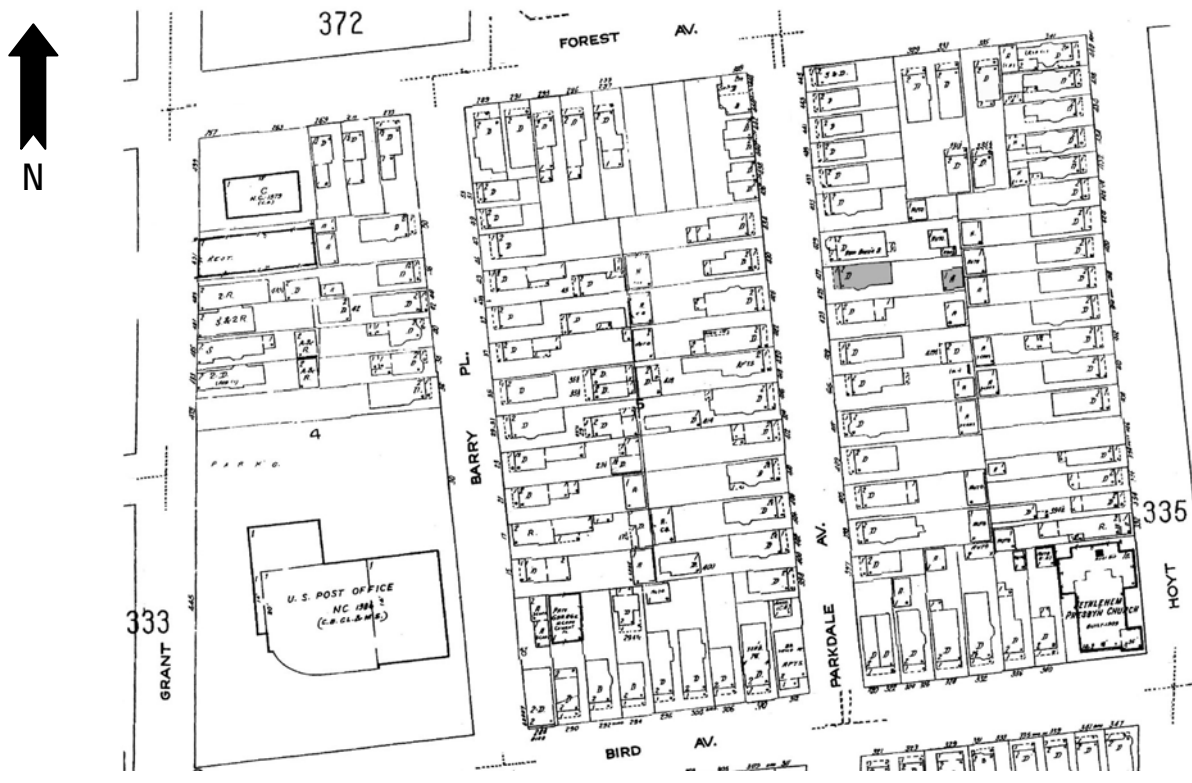
A two-and-one-half story, front gabled, urban, frame residence with modest Queen Anne styling and detail. It has a rough rectangular plan and is set on a stone foundation and rusticated brick foundation. The façade has a full-width porch with ¾-height fluted Ionic columns set on wood trimmed wood piers, spindled wood rail, modest frieze and cornice, and centered entry stair. A main entrance is located in the extreme north bay of the façade. An additional main entrance is located in the extreme south bay. Two large windows with modest enframements occupy the central section of the lower façade. The second floor façade has an open porch with ½-height trimmed wood posts, open wood rail, modern metal awning supports, a porch entrance in the north bay, and a polygonal oriel in the south bay flush beneath the bracketed and slightly projecting front gable end. A two-story slightly protruding, polygonal bay is visible on the south elevation beneath a gabled wall dormer with pent. Exterior wall fabrics are wood clapboard and shingle. Fenestration is one-over-one double-hung wood sash and fixed. A large Palladian window punctuates the front gable end; small window accents the gable of the side dormer. A brick chimney rests on the central ridge. Additional architectural detailing include corner boards, modest frieze, cornice trim, framing, and brackets.

A garage occupies the rear south corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 427 Parkdale Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence with modest Queen Anne styling and detail. Modestly styled doubles and duplexes of Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 334



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-5)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 430 Parkdale Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1890

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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The single-family house at 430 Parkdale Avenue is set on a standard lot, located on the west side of the street, toward the north end of the street on the block between Bird Avenue and Forest Avenue. Parkdale Avenue is a north-south, residential street that runs the length of the central West Side. The property is located in a residential area of the north central section of the Grant-Ferry-Forest neighborhood.

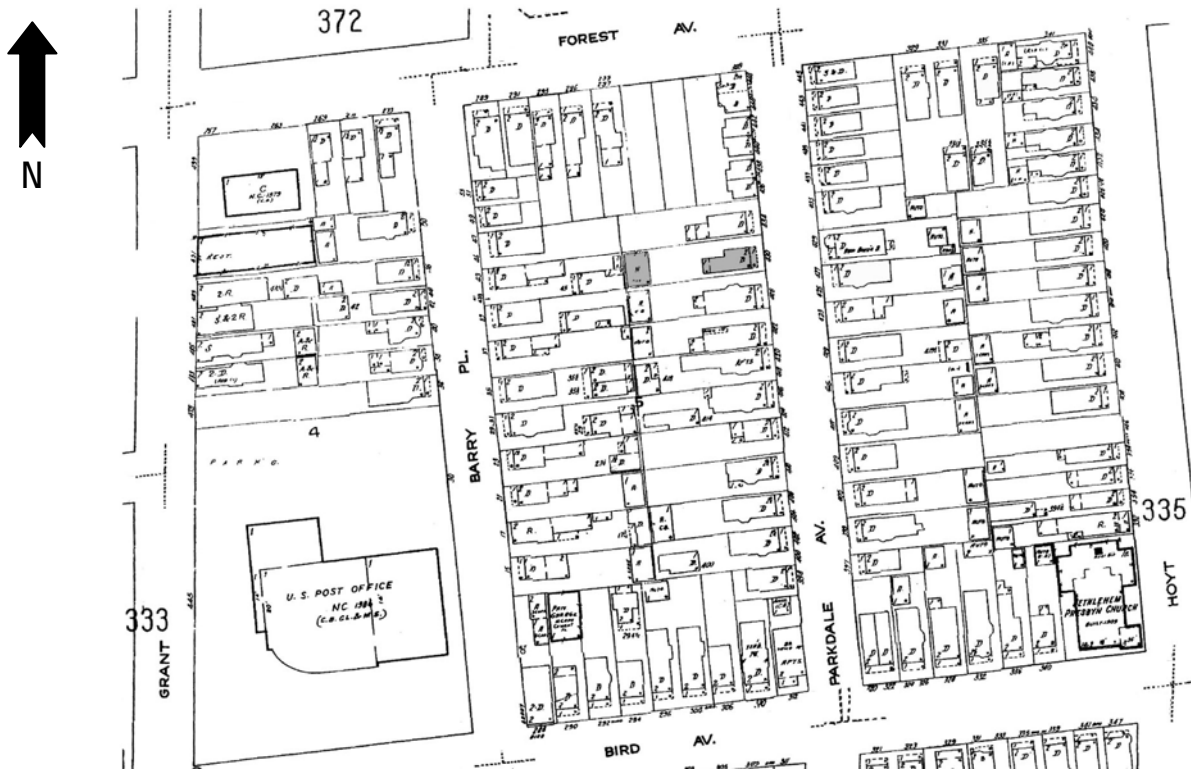
A two-and-one-half story, front gabled, urban, vernacular frame residence with minimal Queen Anne influence. It has a slight ell plan with squared main block and narrowed rear block. The foundation is stone. The façade has an 7/8-width, open, metal railed entry porch with a stair in the north. The main entrance is located in the north bay of the façade. A modestly framed triple window grouping occupies the south bay. The second floor façade has a bracketed rectangular oriel with a triple window in the south bay over the lower window. A paired window accents the pent enclosed front gable end. Exterior wall fabric is clapboard with wood shingle. Fenestration is one-over-one double-hung wood sash and fixed. Exterior brick chimney visible to the front of the south elevation. Additional detailing includes small corner boards, frieze, and trim.

A large garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 430 Parkdale Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, vernacular frame residence with minimal Queen Anne influence. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 334



PHOTOGRAPH: (Grant-Ferry-Forest: R-27; N-4)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 21 Penfield Street

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1880

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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The two-family house at 21 Penfield Street is set on a shortened lot, located on the south side of the street. Penfield Street is a small, east-west, residential street that runs between Niagara Street and West Avenue. The property is located in a mixed use area of the west central section of the Grant-Ferry-Forest neighborhood.

A two-story, hipped roof, simple brick residence with Italianate influencing. The duplex has a symmetric rectangular plan. The façade has a small wood railed open entry porch. The paired main entrance doors are centrally located on the facade. The façade is distinguished by symmetric tiered fenestration. Exterior wall fabric is brick. Arched window openings with stone lintels; fenestration is one-over-one double-hung wood sash and fixed. A brick chimney is visible to the rear of the west slope. Additional detailing includes a wide frieze and cornice trim and the modest topper at the roof crest.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 21 Penfield Street is significant as a good representative example of a two-story, hipped roof, simple brick residence with Italianate influencing. Built as a brick stable for a brick house that stood at 1361 Niagara Street and later converted to a two-family dwelling. That home was owned by Alfred B. Bidwell; Penfield St. was previously Bidwell St. One of the older structures remaining on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 345



PHOTOGRAPH: (Grant-Ferry-Forest: R-36; N-23)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 22 Penfield Street

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1870

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input checked="" type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

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PLEASE PROVIDE THE FOLLOWING INFORMATION

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 22 Penfield Street is set on a short lot, located on the north side of the street. Penfield Street is a small, east-west, residential street that runs between Niagara Street and West Avenue. The property is located in a mixed use area of the west central section of the Grant-Ferry-Forest neighborhood.

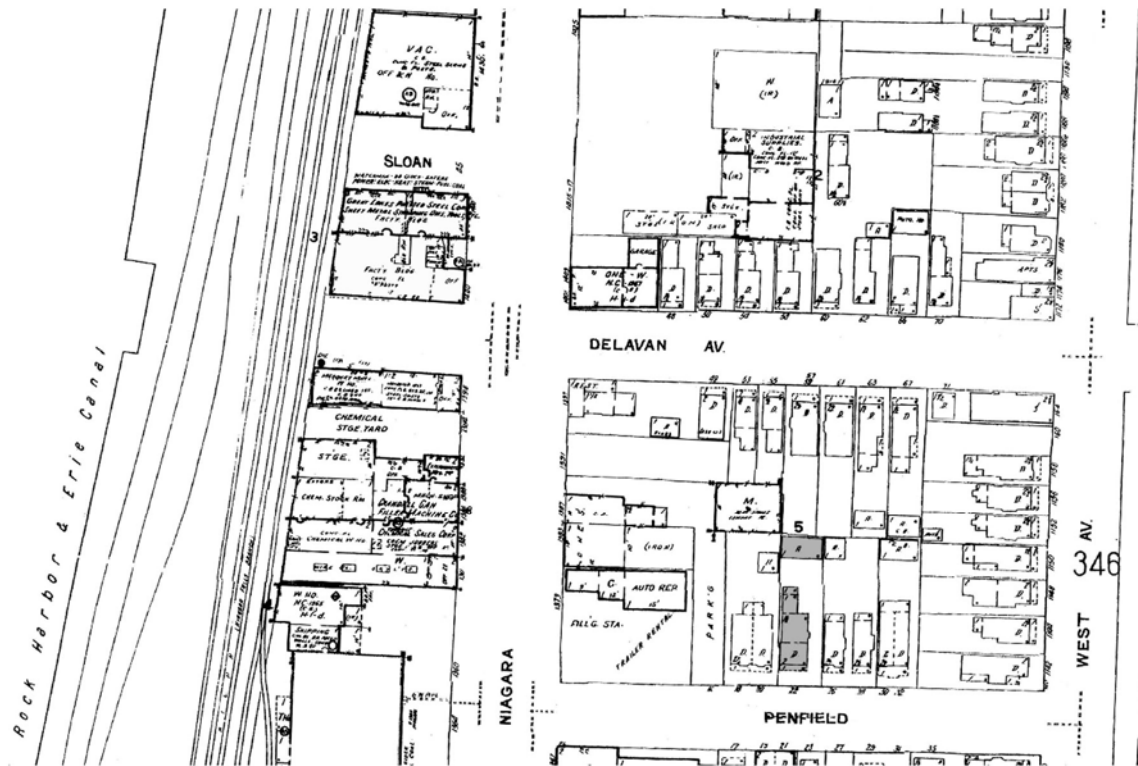
A two-story, front gabled, urban, Victorian vernacular, frame residence. It has a rough ell plan with main block and narrowed one-story rear extension. It is set on a stone and concrete foundation. The façade has full-width shed roof porch with wood post supports and open wood rail. The main entrance is located in the west bay under the porch. The façade is distinguished by simple symmetric fenestration. Protruding polygonal bay visible on the east elevation of the rear section. Exterior wall fabric is wood clapboard. Fenestration is one-over-one double-hung wood sash and fixed. Modest corner boards and gable trim visible.

A large garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 22 Penfield Street is significant as a good representative example of a two-story, front gabled, urban, Victorian vernacular, frame residence. One of the older structures remaining on the West Side. Vernacular structures embellished with modest detailing and varying additions were a practical alternative to the more high-styled homes of the time. Houses, such as this, were common amongst early single-family residences of more modest means, though, less frequent in this neighborhood in which urban singles and doubles of Queen Anne style abound.

MAP: Sanborn Map (Revised 1886) – Plate 345



PHOTOGRAPH: (Grant-Ferry-Forest: R-36; N-24)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 26 Penfield Street

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1898

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 26 Penfield Street is set on a short lot, located on the north side of the street. Penfield Street is a small, east-west, residential street that runs between Niagara Street and West Avenue. The property is located in a mixed use area of the west central section of the Grant-Ferry-Forest neighborhood.

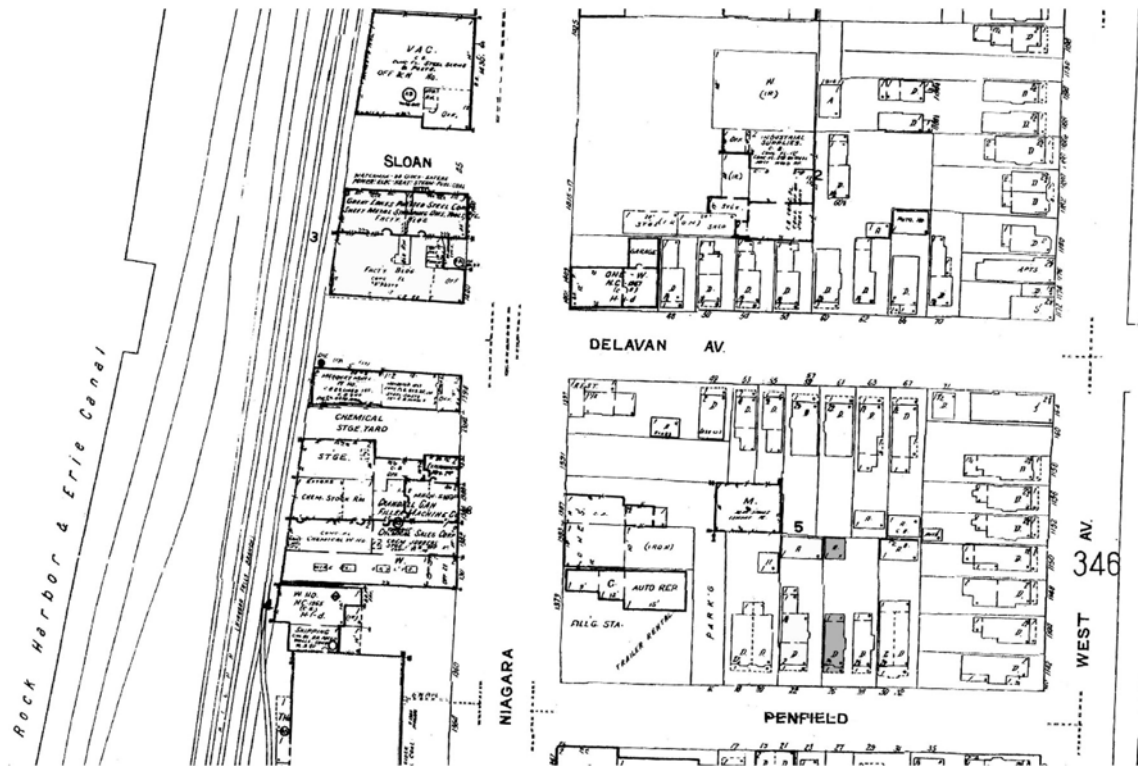
A two-and-one-half story, front gabled, urban, vernacular Victorian frame residence with Queen Anne detailing. It has a rough rectangular plan and is set on a stone and brick foundation. The façade has a full-width, flat roofed porch with turned wood posts, spindled wood rail, flat frieze, and ornamental bracketing. The main entrance is located in the west bay. A polygonal bay occupies the east bay. The second floor façade has a polygonal oriel in the east above the lower bay. Protruding bay on the east elevation. Exterior wall fabrics are wood clapboard and shingle. Fenestration is one-over-one double-hung wood sash and fixed. A small polygonal oriel with leaded panes punctuates the front closed gable end. Additional detailing includes corner pilasters, frieze, and exposed rafter tails.

A small garage occupies the rear west corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 26 Penfield Street is significant as a good representative example of two-and-one-half story, front gabled, urban, vernacular Victorian frame residence with Queen Anne detailing. Built for H. T. Baynes. A modest Queen Anne styled design common amongst single-family residences of the era in the Grant-Ferry-Forest neighborhood.

MAP: Sanborn Map (Revised 1986) – Plate 345



PHOTOGRAPH: (Grant-Ferry-Forest: R-36; N-25)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 30 Penfield Street

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1898

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 30 Penfield Street is set on a short lot, located on the north side of the street. Penfield Street is a small, east-west, residential street that runs between Niagara Street and West Avenue. The property is located in a mixed use area of the west central section of the Grant-Ferry-Forest neighborhood.

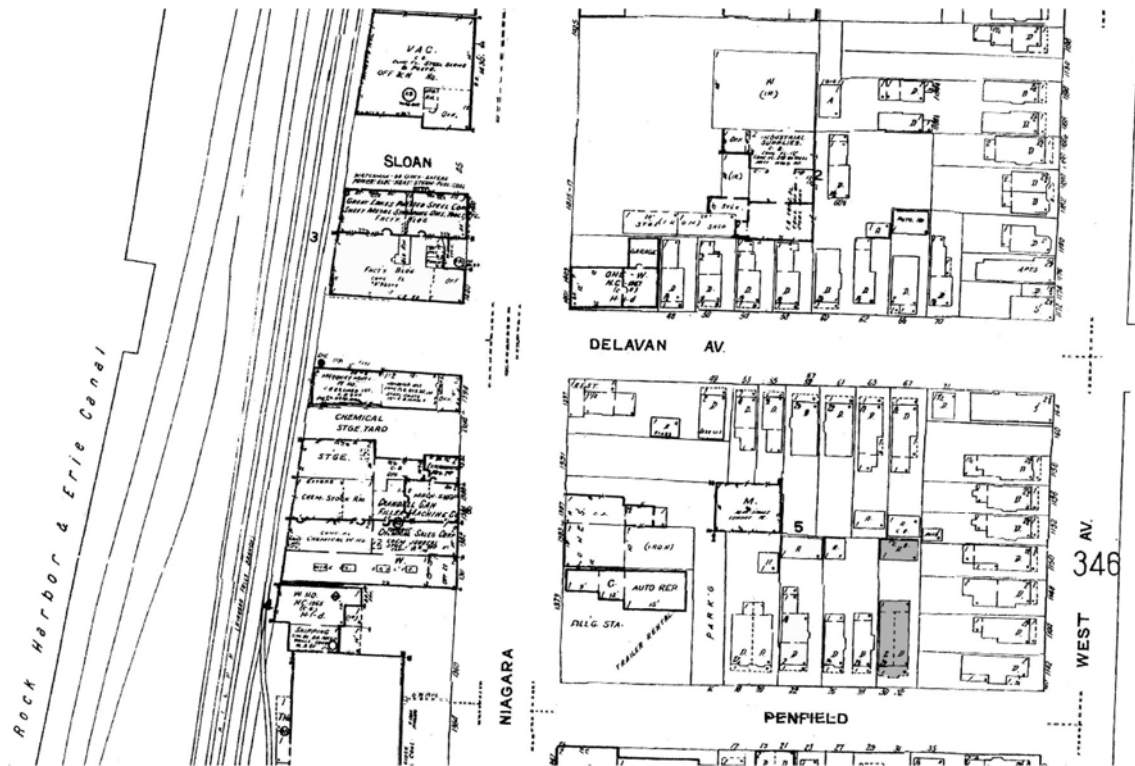
A two-and-one-half story, front gabled, urban, frame vernacular residence with Queen Anne styling. The duplex has a symmetric rectangular plan and is set on a stone foundation. The façade has a full-width, flat roofed porch that sets slightly to the east with ¾- height fluted Doric column supports set on a wood piers, solid wood rail, modest flat frieze, and extended roof with brick piers and metal supports over the centered, ½-width entry stair. The two main entrance doors are located in the center of the façade. Small polygonal bays round the corners of the lower story façade. The second floor façade has matching projecting polygonal oriel in the side and a small central paired window with leaded latticed panes. Exterior wall fabrics are clapboard and wood shingle. Fenestration is one-over-one and twelve-over-one double-hung wood sash and fixed. A large bowed polygonal oriel punctuates the closed front gable end. Additional architectural details include frieze and modest cornice and gable trim.

A large garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 30 Penfield Street is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame vernacular residence with Queen Anne styling and notable oriel in gable peak. Built for H. T. Baynes. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 345



PHOTOGRAPH: (Grant-Ferry-Forest: R-36; N-26)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 12 Perkins Place

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1890

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input checked="" type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 12 Perkins Place is set on a standard lot, located on the north side of the street. Perkins Place is a small, east-west, residential street that runs between Dewitt Street and Herkimer Street. The property is located in a residential area of the west central section of the Grant-Ferry-Forest neighborhood.

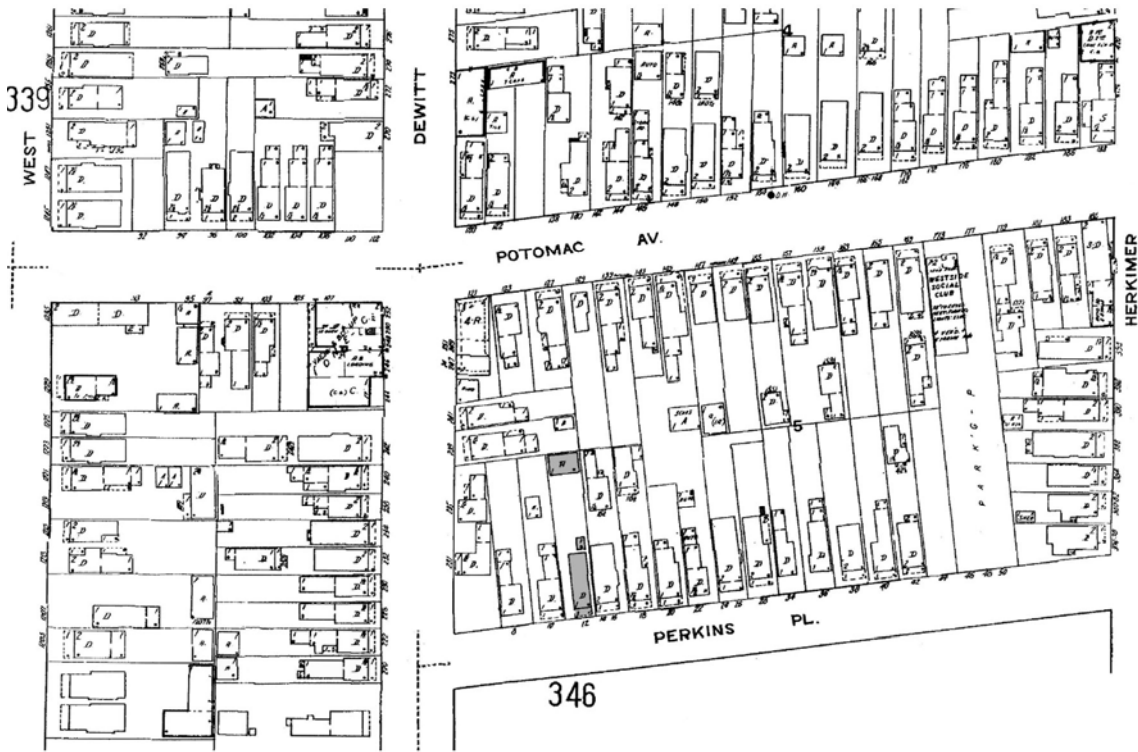
A one-story, front-gabled, vernacular workers' cottage. It has a rectangular plan and is set on a concrete foundation. The façade has a full-width, hipped roofed porch with square column supports and solid wood rail. The main entrance is located in the east bay of the façade with an entry stair. A large paired window occupies the west. Exterior wall fabric is clapboard. Fenestration is one-over-one double-hung wood sash and fixed; some windows boarded. Small window punctuates the gable peak.

A large garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 12 Perkins Place is significant as a good representative example of a one-story, front-gabled, vernacular workers' cottage. Notable workers' cottage characteristic of the era, though less frequent in the Buffalo Grant-Ferry-Forest neighborhood in which singles and urban doubles of Queen Anne and Craftsman style abound.

MAP: Sanborn Map (Revised 1986) – Plate 340



PHOTOGRAPH: (Grant-Ferry-Forest: R-36; N-20)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 21 Perkins Place

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1890

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input checked="" type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 21 Perkins Place is set on a standard lot, located on the south side of the street. Perkins Place is a small, east-west, residential street that runs between Dewitt Street and Herkimer Street. The property is located in a residential area of the west central section of the Grant-Ferry-Forest neighborhood.

A two-story, front-gabled, vernacular Victorian, urban frame residence. It has a slight ell plan with main block and narrowed one-story rear section. The façade has a full-width, hipped roofed porch with square elephantine column supports and solid wood rail. The main entrance is located in the west bay of the façade with an entry stair. A large triple window grouping occupies the east bay. The second floor façade is distinguished by a centered paired window group. Exterior wall fabric is clapboard. Fenestration is one-over-one double-hung wood sash and fixed. Minor detailing includes modest corner boards and frieze.

A garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 21 Perkins Place is significant as a good representative example of two-story, front-gabled, vernacular Victorian, urban frame residence. This house was originally one story, and it was raised to two stories in 1918. Simple folk house characteristic of the era, though less frequent in the Buffalo Grant-Ferry-Forest neighborhood in which singles and urban doubles of Queen Anne and Craftsman style abound.

MAP: Sanborn Map (Revised 1986) – Plate 346



PHOTOGRAPH: (Grant-Ferry-Forest: R-36; N-21)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 40 Perkins Place

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1875

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input checked="" type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

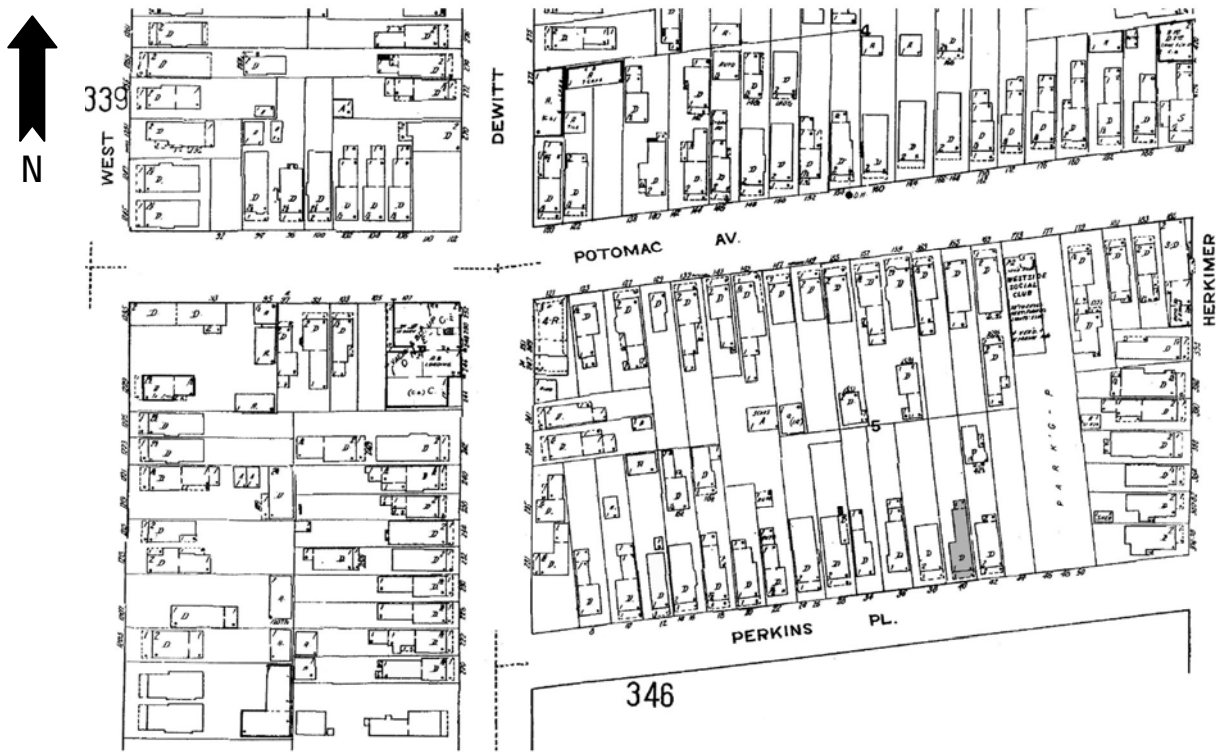
The single-family house at 40 Perkins Place is set on a standard lot, located on the north side of the street. Perkins Place is a small, east-west, residential street that runs between Dewitt Street and Herkimer Street. The property is located in a residential area of the west central section of the Grant-Ferry-Forest neighborhood.

A one-story, front-gabled, vernacular workers' cottage with modest detailing of a mixed Italianate style. It has slight elled plan with main block and narrowed rear section. The façade has a full-width, hipped roofed porch with ¾ square column supports set on a solid shingled wood rail, modest frieze and cornice, and ¼-width pediment over the small entry stair in the west. The main entrance with reserved arch enframement is located in the west bay of the façade. Two large windows with matching arched enframements occupy the east bay. Exterior wall fabric is clapboard. Fenestration is one-over-one and four-over-four double-hung wood sash and fixed. A small window punctuates the gable peak.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 40 Perkins Place is significant as a good representative example of A one-story, front-gabled, vernacular workers' cottage with modest detailing of a mixed Italianate style. Notable workers' cottage with modest stylization characteristic of the era, though less frequent in the Buffalo Grant-Ferry-Forest neighborhood in which singles and urban doubles of Queen Anne and Craftsman style abound.

MAP: Sanborn Map (Revised 1986) – Plate 340



PHOTOGRAPH: (Grant-Ferry-Forest: R-36; N-22)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 643 Plymouth Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1897

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
-------------	---	--------------------------------	--	---

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

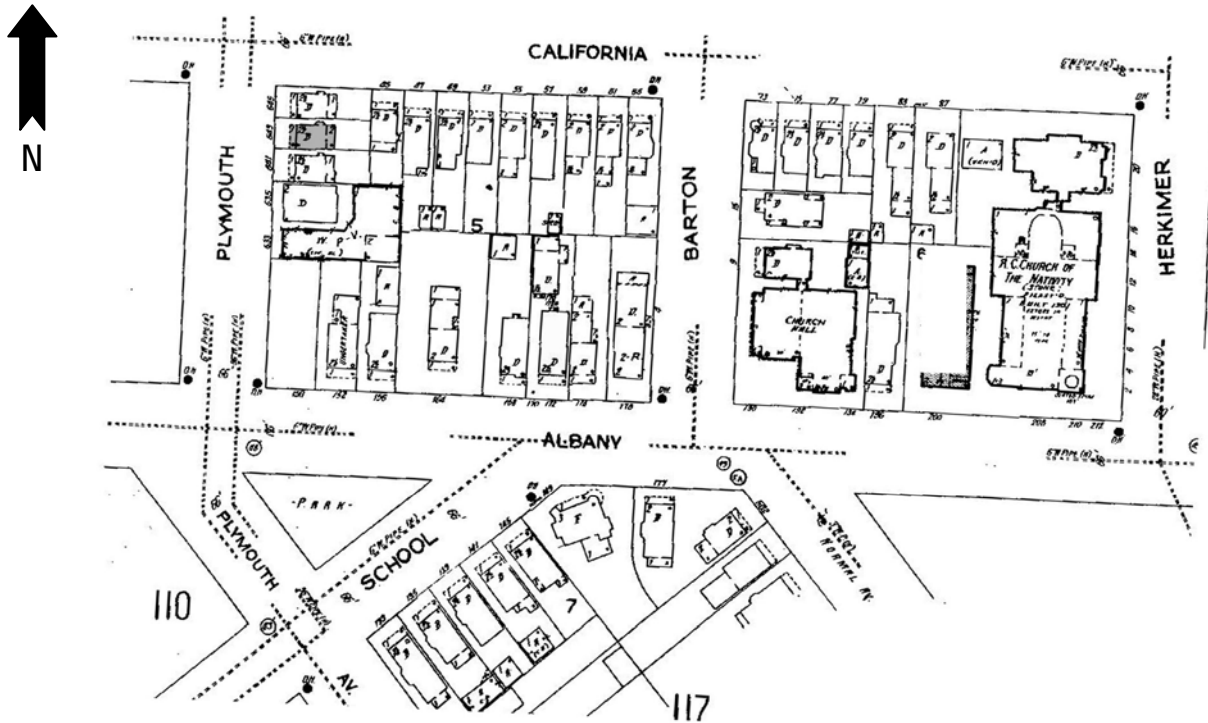
The single-family house at 643 Plymouth Avenue is set on a small lot, located on the east side of the street on the north-south section of Plymouth Avenue on the block between Albany Street and California Street. Plymouth Avenue is a lengthy residential street that cuts through a large section of the West Side. The northern portion of the street, runs north to south from Breckenridge Street to Albany Street; the southern portion runs diagonally to the southeast. The property is located in a residential area of the south west section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, frame residence of reserved Queen Anne design. It has a rough rectangular plan. The façade has a full-width, flat roof porch with 3/4 square column supports set on solid clapboard rail, flat frieze, and 1/4-width pediment over the entry stair in the south. The main entrance is located in the south bay. A large window grouping occupies the north bay. The second floor façade has a polygonal oriel with side brackets flush beneath the projecting gable end. Second-story, shed roofed extension visible at rear. Protruding bay on the north elevation. Exterior wall fabric is clapboard with decorative wood shingle in the front gable. Fenestration is one-over-one double-hung wood sash and fixed. A small paired window punctuates the gable peaks. A brick chimney rests on the south slope just off the central ridge.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 643 Plymouth Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of a reserved Queen Anne design. Built for J. G. & C. L. Gibbons

MAP: Sanborn Map (Revised 1986) – Plate 93



PHOTOGRAPH: (Grant-Ferry-Forest: R-32; N-26)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 715 Plymouth Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1885

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
-------------	---	--------------------------------	--	---

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

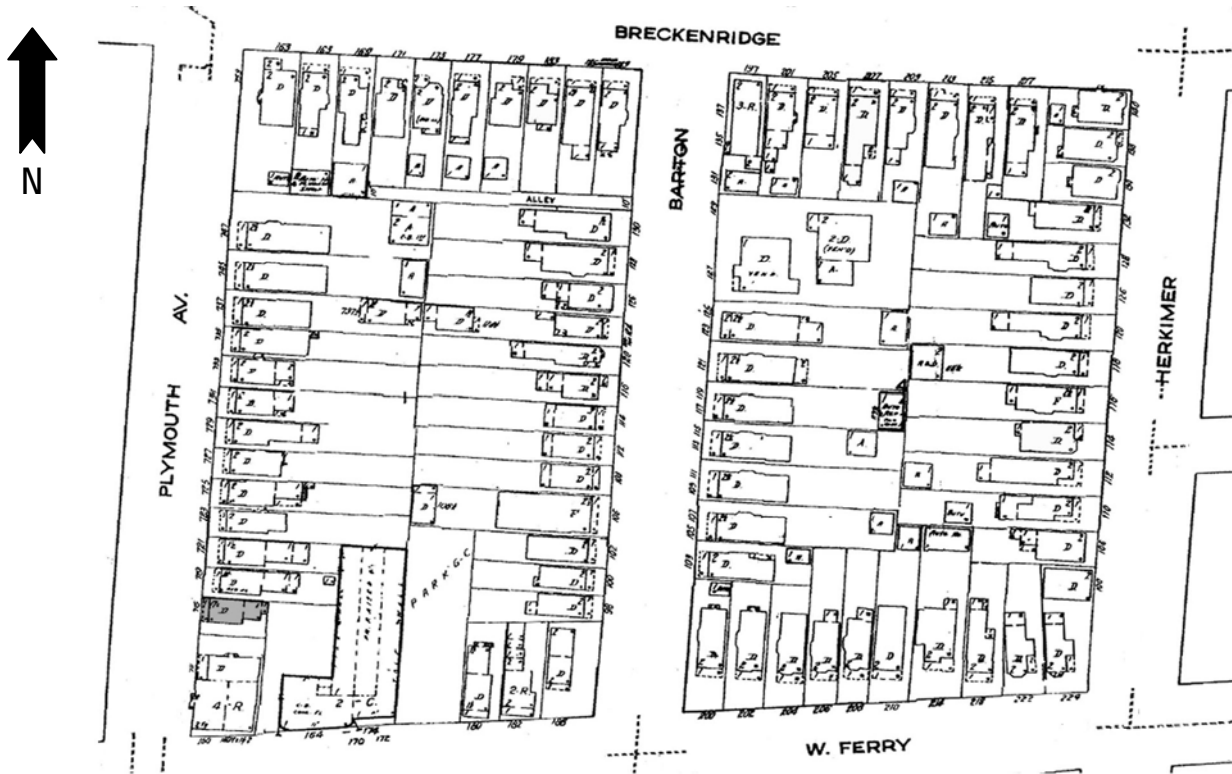
The single-family house at 715 Plymouth Avenue is set on a small lot, located on the east side of the street on the north-south section of Plymouth Avenue on the block between Ferry Avenue and Breckenridge Street. Plymouth Avenue is a lengthy residential street that cuts through a large section of the West Side. The northern portion of the street, runs north to south from Breckenridge Street to Albany Street; the southern portion runs diagonally to the southeast. The property is located in a residential area of the south west section of the Grant-Ferry-Forest neighborhood.

A two-story, front-gabled, urban, frame, vernacular Victorian folk home with modest detailing. It has a slight ell plan with main block and narrowed one-story rear section. The façade has a full-width, flat roofed porch with square column supports, open and solid wood rail, and flat frieze. The main entrance is located in the north bay of the façade with an entry stair. The façade is distinguished by symmetric tiered fenestration. Exterior wall fabric is clapboard. Fenestration is one-over-one, two-over-one, and two-over-two double-hung wood sash and fixed. Detailing includes decorative window enframements with engaged brackets and small hoods, modest corner boards and frieze.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 715 Plymouth Avenue is significant as a good representative example of a two-story, front-gabled, urban, frame, vernacular Victorian folk home with modest detailing. Such simple folk structures embellished with modest detailing of the prevailing architectural style were a practical alternative to the more high-styled homes of the time. A design common amongst single-family residences of more modest means, though, less frequent in this neighborhood in which urban duplexes and doubles of Queen Anne and Craftsman style abound.

MAP: Sanborn Map (Revised 1986) – Plate 355



PHOTOGRAPH: (Grant-Ferry-Forest: R-32; N-27)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 723 Plymouth Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1894

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

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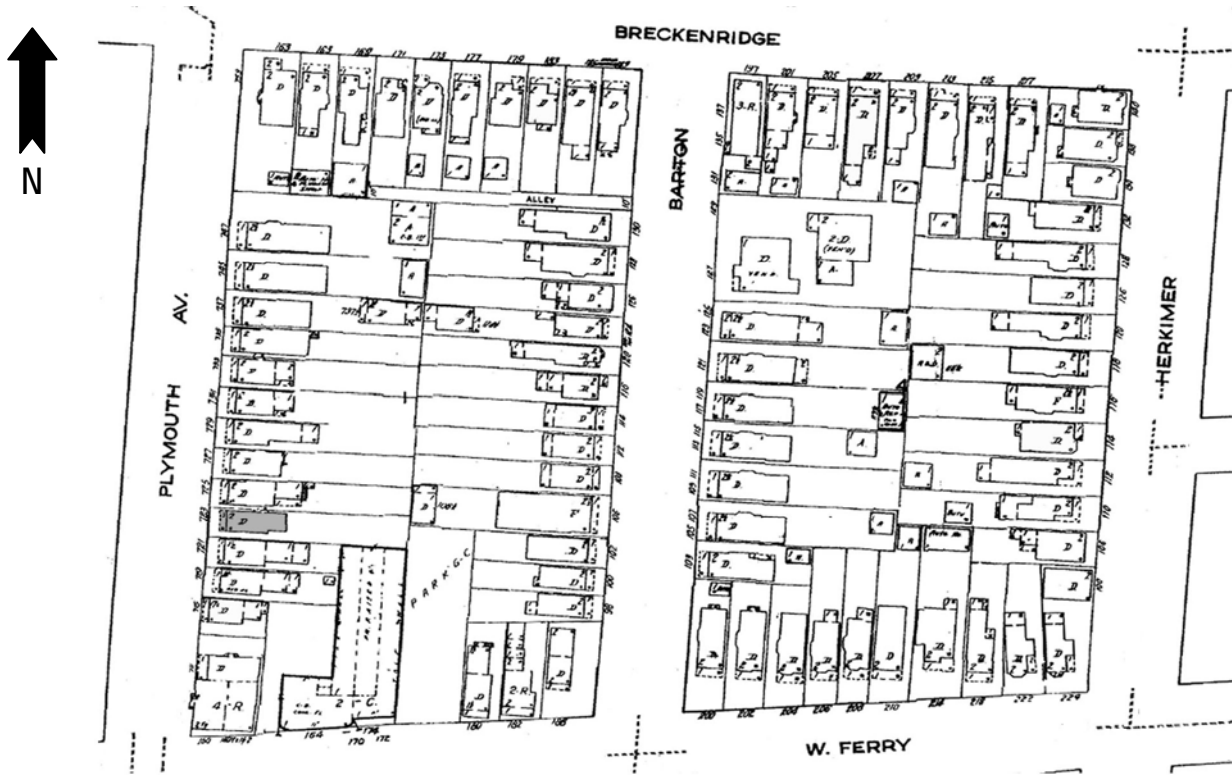
The single-family house at 723 Plymouth Avenue is set on a standard lot, located on the east side of the street on the north-south section of Plymouth Avenue on the block between Ferry Avenue and Breckenridge Street. Plymouth Avenue is a lengthy residential street that cuts through a large section of the West Side. The northern portion of the street, runs north to south from Breckenridge Street to Albany Street; the southern portion runs diagonally to the southeast. The property is located in a residential area of the south west section of the Grant-Ferry-Forest neighborhood.

A two-story, front gabled, vernacular Victorian, urban, frame residence with modest Queen Anne influences and styling. It has a rough rectangular plan with a slightly narrowed rear extension. The façade has a full-width, hipped roof porch with square column supports, solid wood rail, modest frieze and entablature, and ¼-width pediment over the entry stair in the north. The main entrance is located in the north bay within a small entry vestibule. A large paired window occupies the south bay. The second floor façade is distinguished by simple symmetric fenestration. A small, recessed, multi-paned window with pediment punctuates the gable peak. Hipped roof, projecting, first-story bay visible on the north elevation. Exterior wall fabric is wood shingle. Fenestration is one-over-one double-hung wood sash and fixed. Additional detailing includes notable shuttering on the façade, modest corner boards and frieze.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 723 Plymouth Avenue is significant as a good representative example of a two-story, front gabled, vernacular Victorian, urban, frame residence with modest Queen Anne influences and styling. Simpler folk structures embellished with modest detailing of the prevailing architectural style were a practical alternative to the more high-styled homes of the time. A design common amongst single-family residences of more modest means, though, less frequent in this neighborhood in which urban duplexes and doubles of Queen Anne and Craftsman style abound.

MAP: Sanborn Map (Revised 1986) – Plate 355



PHOTOGRAPH: (Grant-Ferry-Forest: R-32; N-28)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 724 Plymouth Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1880

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

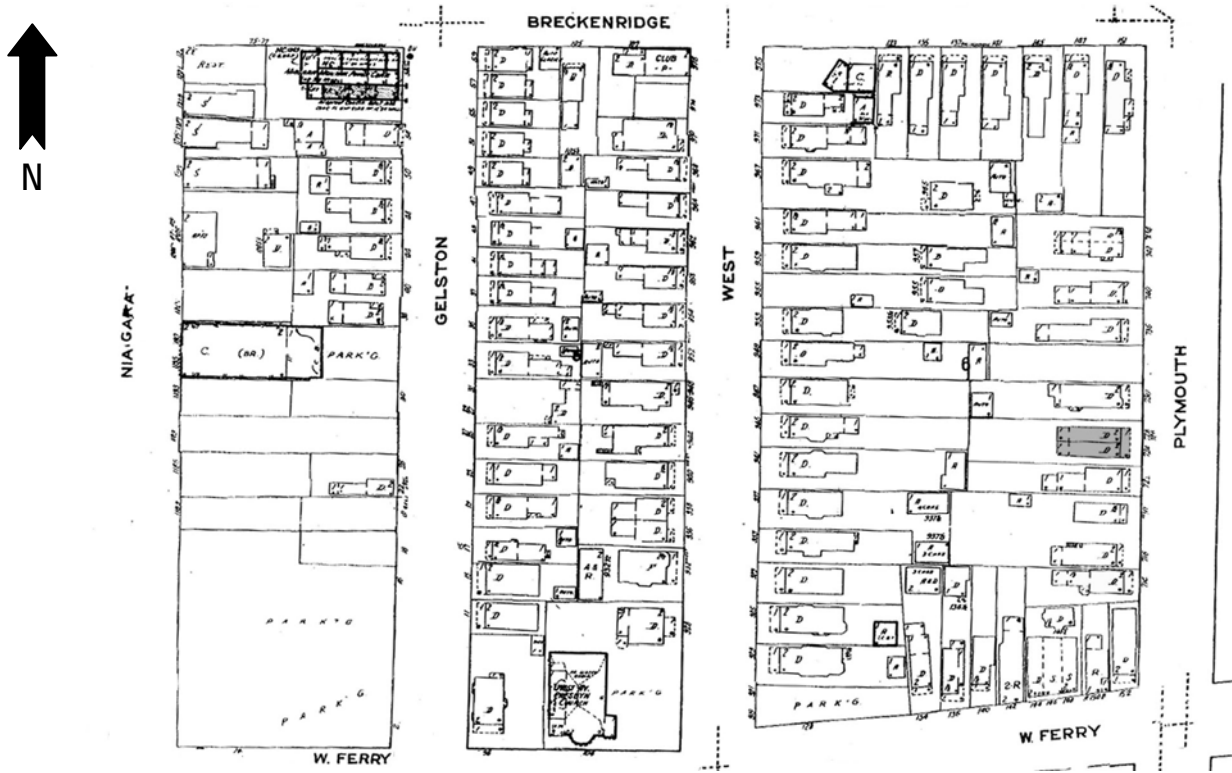
The two-family house at 724 Plymouth Avenue is set on a standard lot, located on the west side of the street on the north-south section of Plymouth Avenue on the block between Ferry Avenue and Breckenridge Street. Plymouth Avenue is a lengthy residential street that cuts through a large section of the West Side. The northern portion of the street, runs north to south from Breckenridge Street to Albany Street; the southern portion runs diagonally to the southeast. The property is located in a residential area of the south west section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, frame, Victorian folk styled residence with Queen Anne influence. The duplex has a symmetric rectangular plan and is set on a stone foundation. The façade has a full-width, flat roof porch with capiteled Doric column supports, spindled wood rail, and central entry stair. The main entrance is centered on the façade within a small entry vestibule. Simple symmetric fenestration in both side bays of the lower façade. The second floor façade has matching paired windows in the side bays. A small window punctuates the gable peak. Exterior wall fabric is clapboard with decorative shingle. Fenestration is one-over-one double-hung wood sash and fixed. A brick chimney rests on the central ridge. Additional detailing includes elaborate window enframements with engaged brackets and hoods, corner boards and trim.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 724 Plymouth Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame, Victorian folk styled residence with Queen Anne influences. Urban vernacular structures embellished with detailing and varying additions were a practical alternative to the more high-styled homes of the time. Duplexes, such as this, while less common than the double were practical housing for lower to middle class families in the early twentieth century on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-32; N-29)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 736 Plymouth Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1890

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 736 Plymouth Avenue is set on a standard lot, located on the west side of the street on the north-south section of Plymouth Avenue on the block between Ferry Avenue and Breckenridge Street. Plymouth Avenue is a lengthy residential street that cuts through a large section of the West Side. The northern portion of the street, runs north to south from Breckenridge Street to Albany Street; the southern portion runs diagonally to the southeast. The property is located in a residential area of the south west section of the Grant-Ferry-Forest neighborhood.

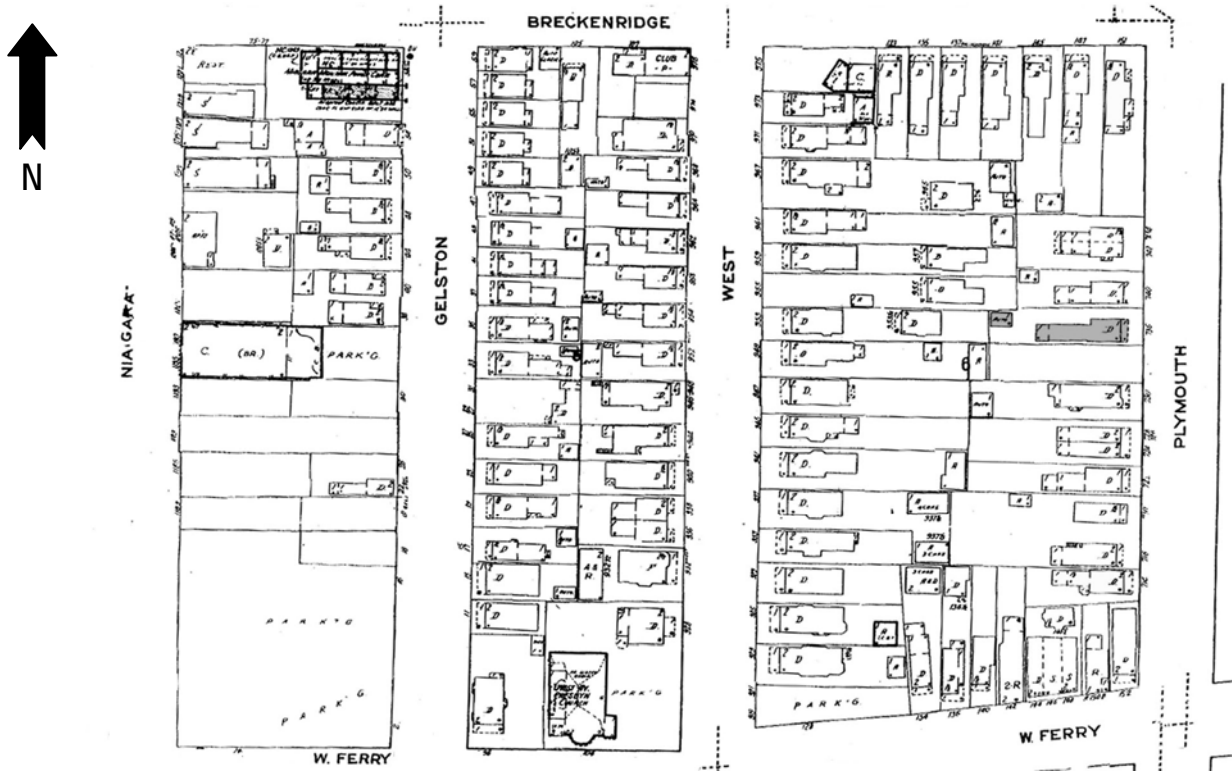
A one-story, front-gabled, vernacular workers' cottage with modest detailing of a mixed style. It has slight elled plan with main block and narrowed rear section. It is set on a rusticated concrete block foundation. The façade has a full-width, flat roofed porch with ¾-height Doric column supports set on a solid wood clapboard rail, modest frieze and cornice, and ¼-width pediment over the entry stair in the south. The main entrance with reserved framing is located in the south bay of the façade. Two large windows with moderate arched framing occupy the north bay. A small window with simple arched enframement punctuates the gable peak. Exterior wall fabric is clapboard with decorative shingle in the porch pediment. Fenestration is one-over-one double-hung wood sash and fixed. Minor detailing includes modest corner boards and trim.

A small garage occupies the rear north corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 736 Plymouth Avenue is significant as a good representative example of a one-story, front-gabled, vernacular workers' cottage with modest detailing of a mixed style. Notable workers' cottage characteristic of the era, though less frequent in the Buffalo Grant-Ferry-Forest neighborhood in which singles and urban doubles of Queen Anne and Craftsman style abound.

MAP: Sanborn Map (Revised 1986) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-32; N-30)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 24 Pooley Place

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1892

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

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Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

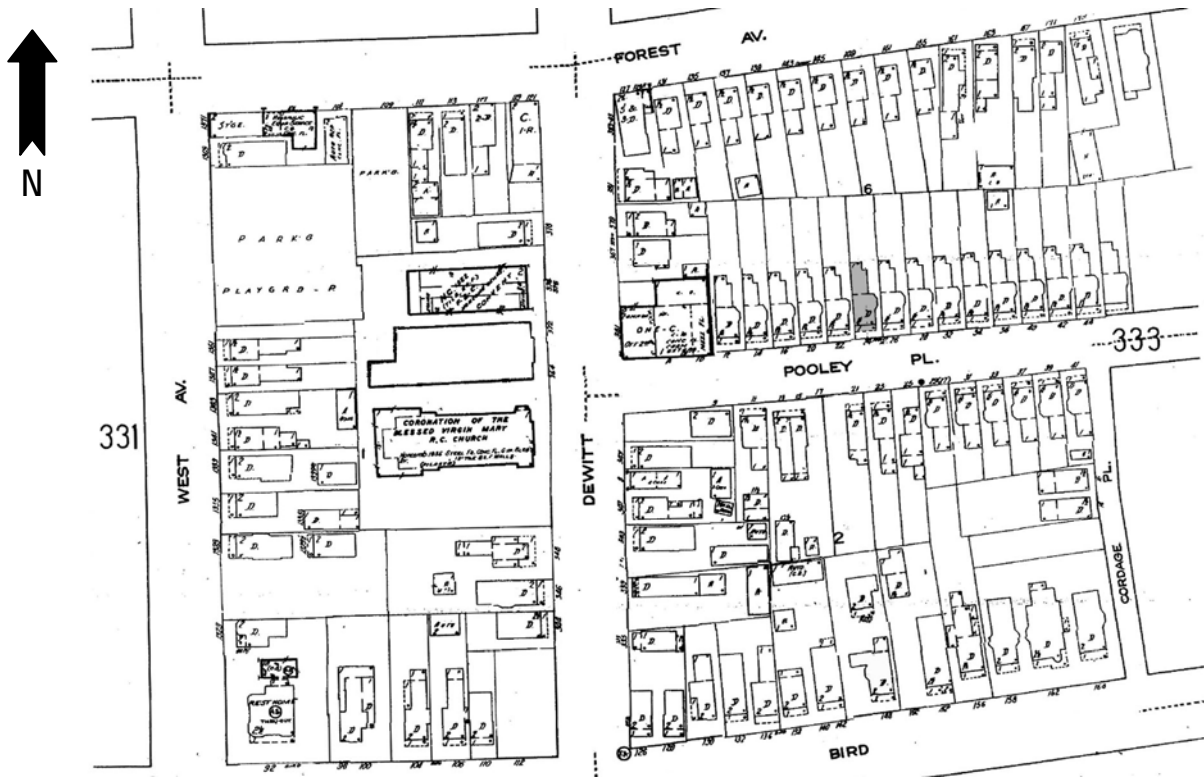
The single-family house at 24 Pooley Place is set on a standard lot, located on the north side of the street, toward its west end. Pooley Place is a small, east-west, residential street that runs between Dewitt Street and Grant Street. The property is located in a residential area of the north west section of the Grant-Ferry-Forest neighborhood.

A two-story, front-gabled, vernacular Victorian, urban frame residence. It has a slight ell plan with main block and narrowed one-story rear section. The façade has a full-width, hipped roofed, enclosed living porch with pilasters and clapboard base beneath continuous window groupings. The sidelighted main entrance is located in the west bay of the porch façade with an entry stair. The second floor façade is distinguished by a centered paired window group. Exterior wall fabric is clapboard. Fenestration is one-over-one double-hung wood sash and fixed. A brick chimney rests on the east slope just off the center ridge. Minor detailing includes modest corner boards and trim.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 24 Pooley Place is significant as a good representative example of two-story, front-gabled, vernacular Victorian, urban frame residence with an enclosed living porch. Such simple folk structures embellished with modest detailing of the prevailing architectural style were a practical alternative to the more high-styled homes of the time. A design common amongst single-family residences of more modest means, though, less frequent in this neighborhood in which urban singles and doubles of Queen Anne and Craftsman style abound.

MAP: Sanborn Map (Revised 1986) – Plate 332



PHOTOGRAPH: (Grant-Ferry-Forest: R-31; N-19)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 46 Pooley Place

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1892

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

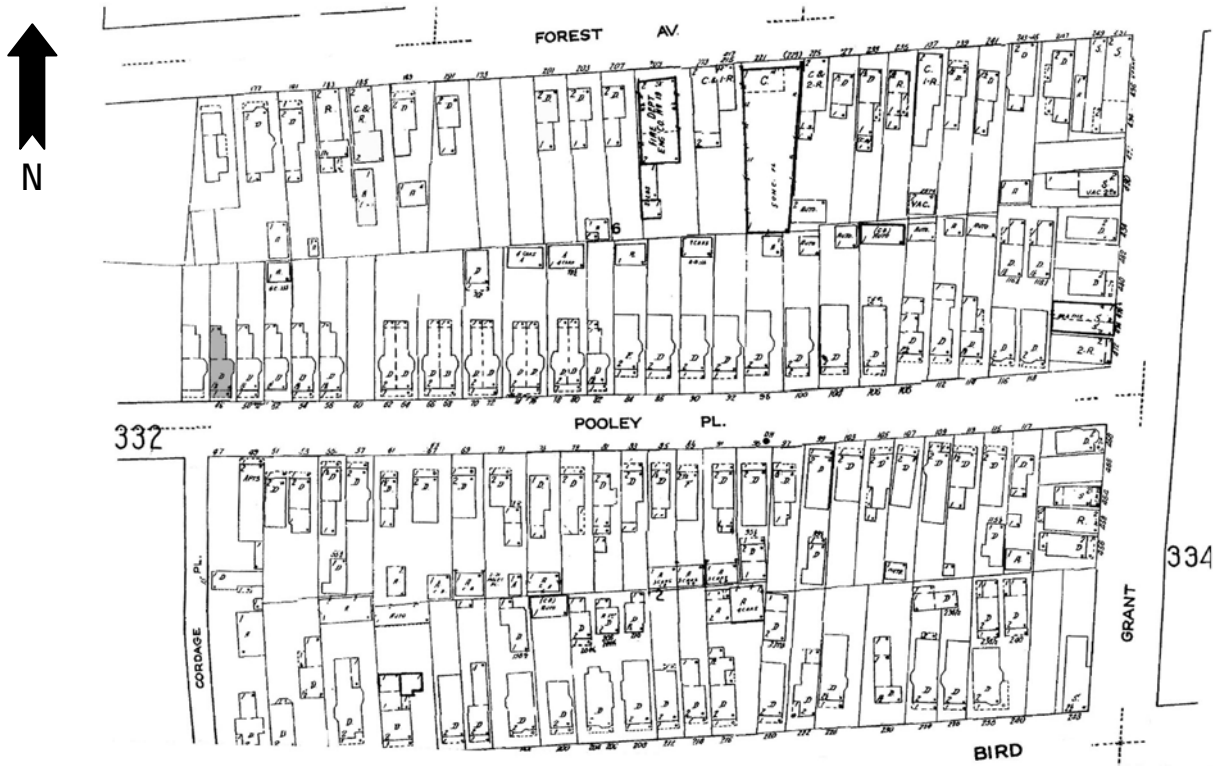
The single-family house at 46 Pooley Place is set on a standard lot, located on the north side of the street. Pooley Place is a small, east-west, residential street that runs between Dewitt Street and Grant Street. The property is located in a residential area of the north west section of the Grant-Ferry-Forest neighborhood.

A two-story, front-gabled, vernacular Victorian, urban frame residence with moderate mixed style detailing. It has a slight ell plan with main block and narrowed one-story rear section and is set on a stone foundation. The façade has a full-width, hipped roofed porch with square elephantine column supports, solid wood rail, frieze, and enclosed side windows. The modestly enframed main entrance is located in the west bay of the façade with an entry stair. Two large windows with framing occupy the east bay. The second floor façade is distinguished by a centered paired window group with an awning. Projecting polygonal bay visible on the east elevation flush beneath a large protruding shed dormer. Exterior wall fabric is clapboard. Fenestration is one-over-one double-hung wood sash and fixed. Central chimney. Additional detailing includes modest corner boards and frieze.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 46 Pooley Place is significant as a good representative example of a two-story, front-gabled, vernacular Victorian, urban frame residence with moderate mixed style detailing. Such simple folk structures embellished with modest detailing of the prevailing architectural style were a practical alternative to the more high-styled homes of the time. A design common amongst single-family residences of more modest means, though, less frequent in this neighborhood in which urban singles and doubles of Queen Anne and Craftsman style abound.

MAP: Sanborn Map (Revised 1986) – Plate 333



PHOTOGRAPH: (Grant-Ferry-Forest: R-31; N-20)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 69 Pooley Place

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known George W. Gies, bldr Date of construction, if known 1916

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco and aggregate	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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The single-family house at 69 Pooley Place is set on a standard lot, located on the south side of the street. Pooley Place is a small, east-west, residential street that runs between Dewitt Street and Grant Street. The property is located in a residential area of the north west section of the Grant-Ferry-Forest neighborhood.

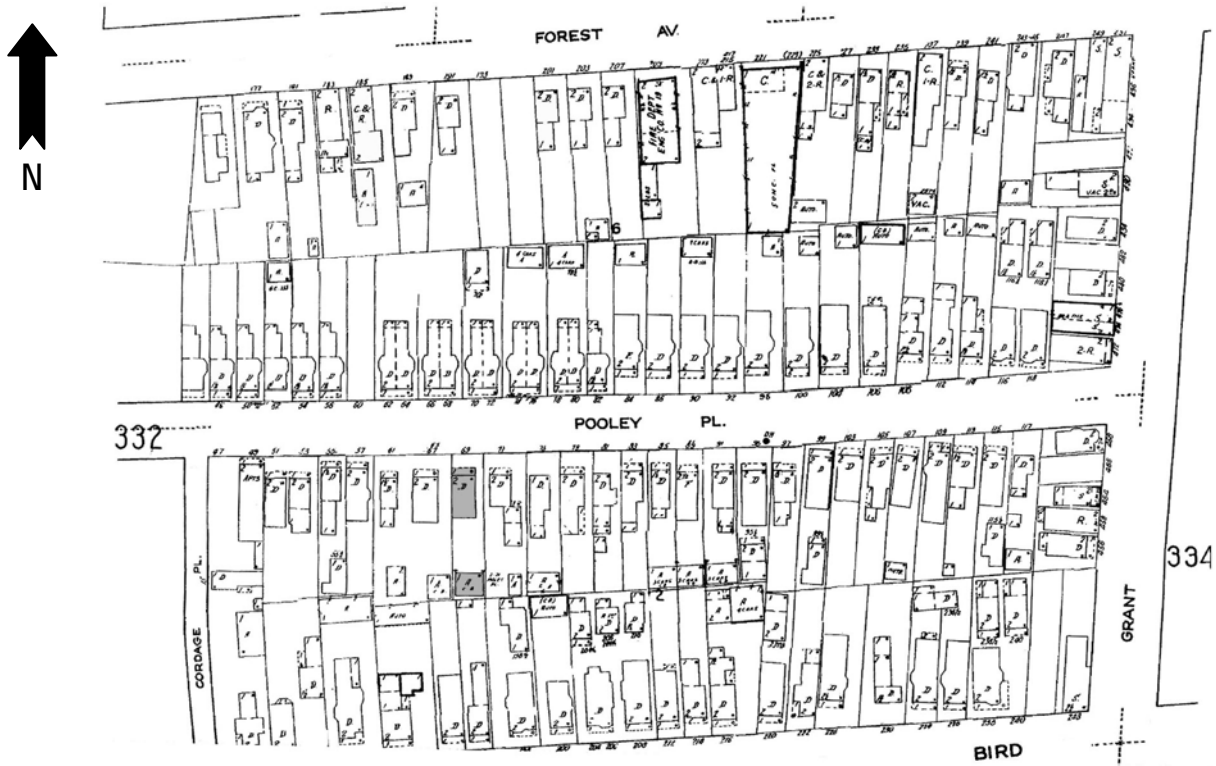
A two-and-one-half story, front gabled, vernacular, urban residence with Queen Anne influence. It has a rectangular plan and is set on a brick foundation. The façade has a full-width porch with brick columns that extend down into the foundation, open wood rail, and flat frieze. The main entrance is located in the east bay of the façade. A large tripe window grouping occupies the west bay. The second floor façade has an open porch with modern metal rail, supports, and awning, a porch entrance in the east bay over the entrance, and a large tripe window grouping in the west directly over the lower triple window. Exterior wall fabric is stucco with rock aggregate and brick. Fenestration is one-over-one double-hung wood sash and fixed. A paired window punctuates the front gable peak. A brick chimney rests on the western roof slope.

A large garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 69 Pooley Place is significant as a good representative example of a two-and-one-half story, front gabled, vernacular, urban residence with Queen Anne influence. Rarely seen stucco with rock aggregate exterior. Built for George W. Gies.

MAP: Sanborn Map (Revised 1986) – Plate 333



PHOTOGRAPH: (Grant-Ferry-Forest: R-31; N-21)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 90 Pooley Place

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1901

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input checked="" type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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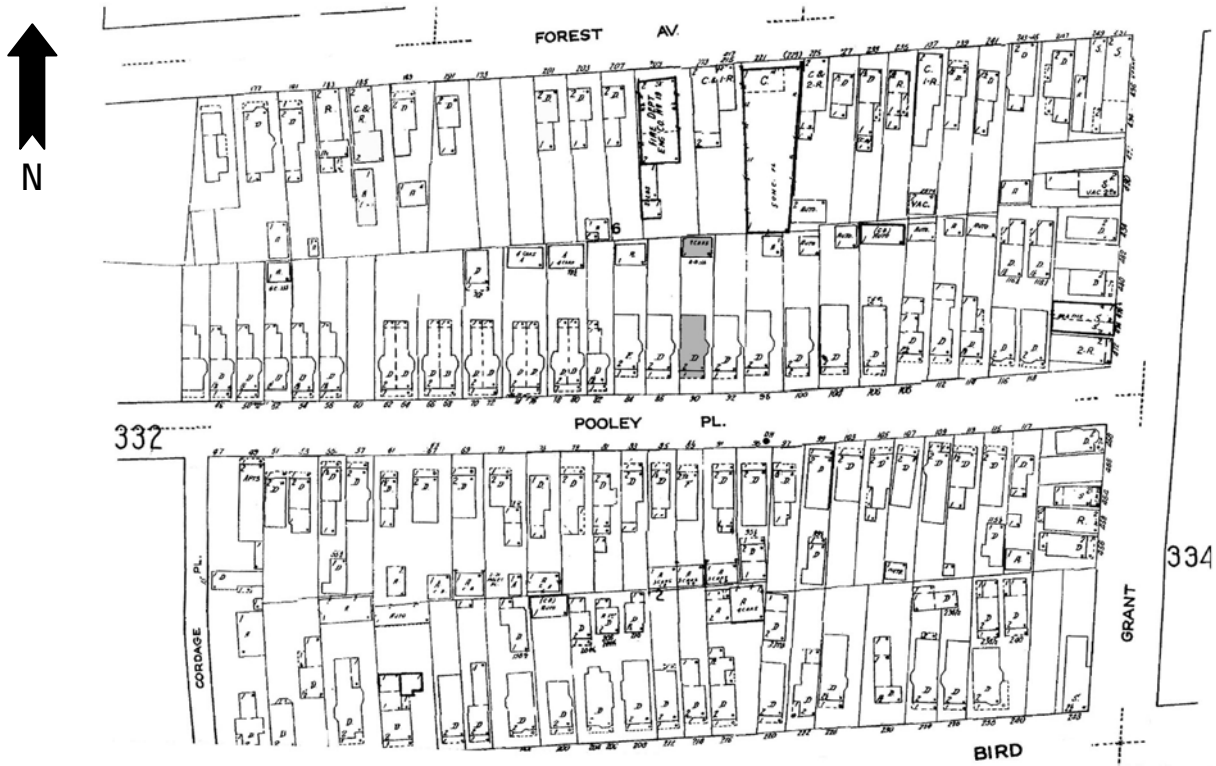
The two-family house at 90 Pooley Place is set on a standard lot, located on the north side of the street, toward its east end. Pooley Place is a small, east-west, residential street that runs between Dewitt Street and Grant Street. The property is located in a residential area of the north west section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, cross gabled, urban, frame residence with Queen Anne styling. The duplex has a rough rectangular plan and is set on a concrete foundation. The façade has a full-width porch with square column supports, open wood rail, small frieze, entry stair in the extreme west bay and similar entry stair in the extreme east bay topped by a ¼-width pediment. A main entrance is located in the extreme west bay of the façade. An additional main entrance is located in a recessed niche in the extreme east bay. Two large windows occupy the central section of the lower façade. The second floor façade has a ½-width open porch with modern metal rail and awning supports and a porch entrance in the west bay. A projecting polygonal oriel occupies the east bay. A two-story projecting, polygonal bay is visible on the east elevation beneath the slightly projecting side cross gable. Exterior wall fabrics are clapboard on the main block with decorative wood shingle in the gable end. Fenestration is one-over-one double-hung wood sash and fixed. A Palladian-like triple window grouping punctuates the front gable peak. Additional architectural details include modest corner boards and trim.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 90 Pooley Place is significant as a good representative example of two-and-one-half story, cross gabled, urban, frame residence with Queen Anne styling. Built for George C. Pooley, for whom Pooley Place is named.

MAP: Sanborn Map (Revised 1986) – Plate 333



PHOTOGRAPH: (Grant-Ferry-Forest: R-31; N-22)



